

Planning & Zoning Commission Meeting Agenda

City Council Chambers

1311 Chestnut Street

Bastrop, TX 78602



This meeting will be live streamed on the City of Bastrop Facebook Page

(www.facebook.com/bastroptx) and broadcast on Spectrum channel 10 and AT&T U-verse channel 99. A recording of the meeting will also be available within 72 hours after the meeting on the City's YouTube channel (Bastrop TX Network) and in the Agendas & Minutes section of the City website (www.cityofbastrop.org).

March 25, 2021 at 6:00 P.M.

City of Bastrop Planning & Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the Commission Secretary at (512) 332-8840 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed Executive Session for the purposes of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.

The City of Bastrop reserves the right to reconvene, recess, or realign the Regular Session or called Executive Session or order of business at any time prior to adjournment.

- 1. CALL TO ORDER**
- 2. CITIZEN COMMENTS**

At this time, comments will be taken from the audience on any topic.

In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Commission cannot discuss issues raised or make any decision at this time. Instead, city Commissions are limited to making a statement of specific information or a recitation of existing policy in response to the inquiry. Issues may be referred to the Staff Liaison for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Commission to allow a member of the public to slur the performance, honesty, and/or integrity of the Commission, as a body or any member or members of the Commission, individually or collectively, nor any members of the city's staff. Accordingly, profane, insulting, or threatening language directed toward the Commission and/or any person in the Commission's presence will not be tolerated.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Consider action to approve meeting minutes from the February 25, 2021 Planning & Zoning Commission Meeting and the March 1, 2021 Planning and Zoning Commission Special Meeting.
- 3B. Consider action to deny a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations.

4. WORKSHOP

- 4A. Discussion on Rules of Procedure for the City Council and Boards and Commission of the City of Bastrop, Texas.
- 4B. Discussion on Comprehensive Plan Executive Summary, Chapter 4 – Housing & Neighborhoods and any other follow up the February meeting.
- 4C. Discussion on the direction of amendments to the Bastrop Building Block (B³) Code, Chapter 8 - Signs.

5. WORKSHOP

- 5A. Update on recent City Council actions regarding Planning Department items.
- 5B. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).

6. ADJOURNMENT

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, www.cityofbastrop.org and said Notice was posted on the following date and time: March 22, 2021 at 11:30 a.m. and remained posted for at least two hours after said meeting was convened.



Viviana Andres, Development Coordinator



STAFF REPORT

MEETING DATE: March 25, 2021

AGENDA ITEM: 3A

TITLE:

Consider action to approve meeting minutes from the February 25, 2021 Planning & Zoning Commission Meeting and the March 1, 2021 Planning and Zoning Commission Special Meeting.

STAFF REPRESENTATIVE:

Vivianna Nicole Andres, Development Coordinator

ATTACHMENTS:

Meeting Minutes



Planning and Zoning Commission

February 25, 2021

Meeting Minutes

The City of Bastrop Planning and Zoning Commission met Thursday, February 25, 2021 at 6:00 p.m. in the Council Chambers located at 1311 Chestnut Street, Bastrop, Texas 78602.

1. CALL TO ORDER

Debbie Moore called the meeting to order at 6:00 p.m.

Pablo Serna	Present
Matt Lassen	Present
Debbie Moore	Present
Cynthia Meyer	Present
Glenn Johnson	Present
Ishmael Harris	Present
Cheryl Lee	Present
Greg Sherry	Present
Carrie Caylor	Present

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Consider action to approve meeting minutes from the January 28, 2021 Planning & Zoning Commission meeting.

Glenn Johnson made a motion to recommended approval of the January 28, 2021 meeting minutes. Carrie Caylor seconded the motion and the motion carried unanimously.

- 3B. Consider action to approve The Colony MUD 1C, Section 4 Preliminary Plat, being 14.988 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Statutory Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.

Jennifer Bills presented the information sent to the Commission in the Planning and Zoning Agenda packet for The Colony MUD 1C, Section 4 Preliminary Plat. She concluded the presentation stating Staff was recommending approval at this time.

Discussion commenced between Staff and the Commission regarding drainage, overall phasing and connectivity of the development, The Colony bring a part of the City's 1-mile and statutory ETJ, what triggers The Colony Consent Agreement to change, the process for creating a MUD and why they are reviewed by the City, the timeline for the construction of the public utilities, and the fiscal surety required for the construction of public improvements.

Planning and Zoning Commission

February 25, 2021

Meeting Minutes

There were no comments from the public.

Carrie Caylor made a motion to recommend approval of The Colony MUD 1C, Section 4 Preliminary Plat, being 14.988 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Statutory Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A. Glenn Johnson seconded the motion and the motion carried unanimously.

- 3C. Consider action to recommend approval, with conditions, of the Bastrop Grove Neighborhood Regulating Plan, located on 33.6 acres of the Nancy Blakey Survey, Abstract 98.

This item was pulled from the Agenda, no discussion was had.

4. WORKSHOP

- 4A. Discussion and provide feedback on the focus to future updates on the Comprehensive Plan Executive Summary, Chapter 1 – Planning Context & Vision, Chapter 2 – Community Growth, and Chapter 3 – Public Facilities.

Chapter 1 Discussion:

Questions about the executive summary, and how the updates to the tables in Chapter 1 will be made after census publishes their updated census count.

Chapter 2 Discussion:

The projected future growth areas for Bastrop being mostly to the west of the Colorado River, the location of the city sewer CCN, the activities within the Comp. Plan which need to be updated, fluent reuse for water supply, creating a community engagement plan for the upcoming Com. Plan update, and opportunities to close the generational gap by adding more amenities to the community.

Chapter 3:

Update the Comp. Plan to reflect the additional staffing that has been added to City Hall, update the YMCA reference, come up with a new recreation plan, and ensure we are encouraging energy efficient development with the codes we have in place.

5. UPDATES

- 5A. Handout City of Bastrop Policies and Procedures Manual.

The manuals were distributed to the Commission members.

Planning and Zoning Commission
February 25, 2021
Meeting Minutes

5B. Update of development statistics and the Council Quarterly Report.

Discussion commenced over the information that was presented to the Commission in the Quarterly Report, the general review timeline for application submittals, new staffing positions that have been added within the Planning Department, the use of a third-party inspector, and the MyGov implementation progress.

5C. Update on recent City Council actions regarding Planning Department items.

The Roadway Agreement for The Colony MUD was passed by Council.

5D. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).

No requests were made at this time.

6. ADJOURNMENT

Glenn Johnson made a motion to adjourn at 6:59 p.m. Matt Lassen seconded the motion, and the motion carried unanimously.

Debbie Moore, Chair

Pablo Serna, Vice-Chair

Planning and Zoning Commission

March 1, 2021

Meeting Minutes

The City of Bastrop Planning and Zoning Commission met Monday, March 1, 2021 at 6:00 p.m. in an online meeting.

1. CALL TO ORDER

Pablo Serna called the meeting to order at 6:01 p.m.

Pablo Serna	Present
Matt Lassen	Absent
Debbie Moore	Absent (called in with Technical Difficulties)
Cynthia Meyer	Present
Glenn Johnson	Present
Ishmael Harris	Present
Cheryl Lee	Present
Greg Sherry	Present
Carrie Caylor	Absent

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Consider action to approve The Colony MUD 1A, Section 3, Phase B Final Plat, being 60.271 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located east of FM 969, within the Statutory Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.

Jennifer Bills presented the information. She concluded the presentation stating Staff was recommending approval at this time.

Discussion commenced between Staff and the Commission regarding drainage, the overall phasing of the development, connectivity of this section and the secondary streets, concerns about water/water quality, drainage, bonds, and construction close out.

There were no comments from the public.

Greg Sherry made a motion to recommend approval of The Colony MUD 1A, Section 3, Phase B Final Plat, being 60.271 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located east of FM 969, within the Statutory Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A. Ishmael Harris seconded the motion and the motion carried unanimously.

Planning and Zoning Commission

March 1, 2021

Meeting Minutes

4. ADJOURNMENT

Cynthia Meyer made a motion to adjourn at 6:16 p.m. Greg Sherry seconded the motion, and the motion carried unanimously.

Debbie Moore, Chair

Pablo Serna, Vice-Chair



STAFF REPORT

MEETING DATE: March 25, 2021

AGENDA ITEM: 3B

TITLE:

Consider action to deny a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

ITEM DETAILS:

Site Address:	714 Spring Street (Attachment 1)
Total Acreage:	0.588 acres
Legal Description:	Main & Spring Subdivision, Lot 2
Property Owner:	First National Bank
Agent Contact:	Luke Stewart/Southwest Engineers
Existing Use:	Parking lot/Drive-thru ATM
Existing Zoning:	P-5, Core
Character District:	Old Town
Future Land Use:	Downtown Bastrop

BACKGROUND/HISTORY:

The applicant has submitted an application for a Site Development Plan to build a new bank with drive-through teller and ATM lanes.

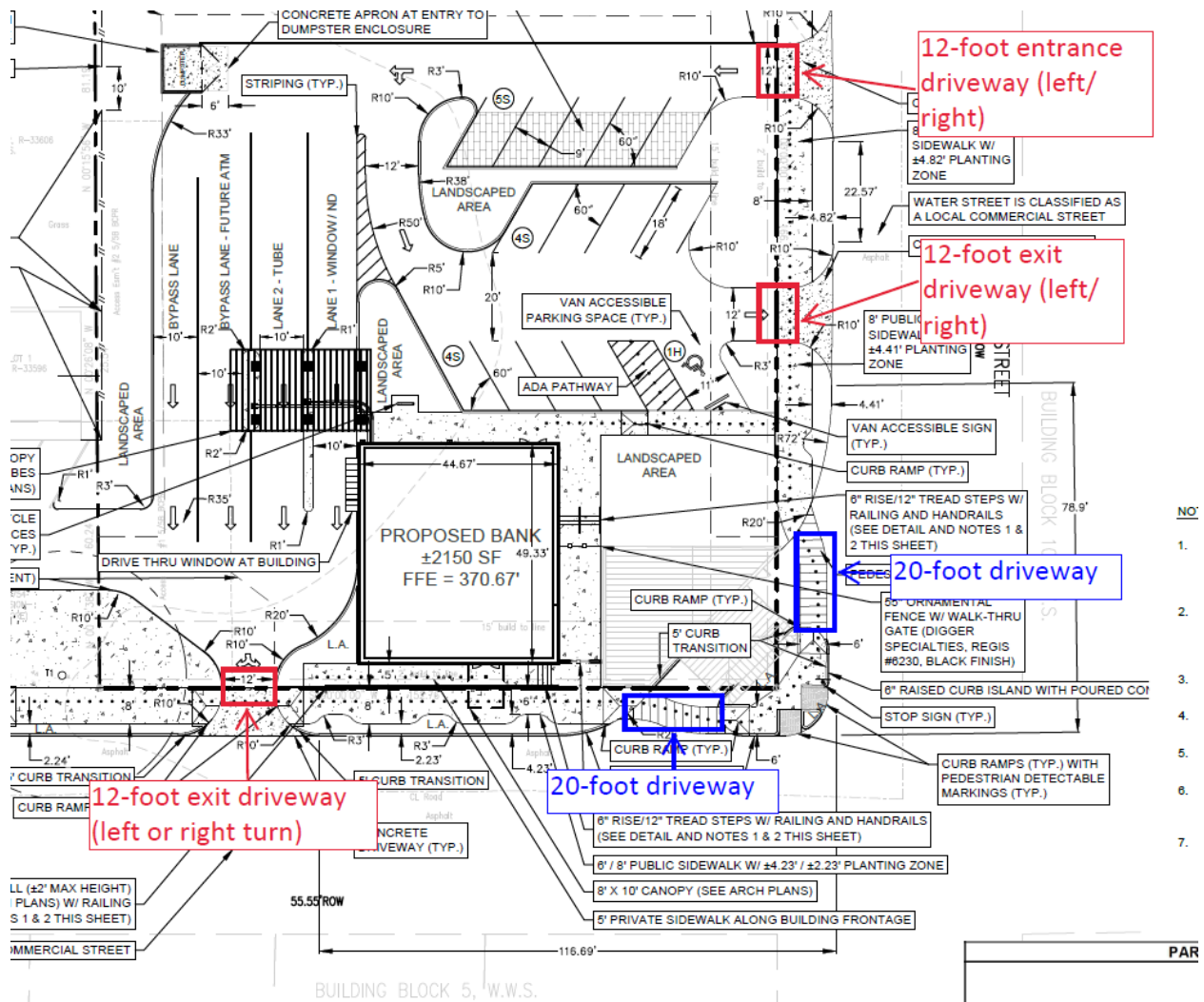
The Development Review Committee members have completed three reviews for compliance with the Bastrop Building Block (B³) Code and have denied approval of the plan for non-compliance with the driveway requirements. Per the Code, on a corner must take access off the Secondary Frontage and sites zoned P-4 or P-5 must have the driveway set a minimum of 40 feet from the street intersection. The B³ Code is designed to create pedestrian focused multi-modal streets. Allowing of multiple auto centric driveways creates multiple breaks in the sidewalk and intersections with the street driving lanes, generating conflicts for pedestrians and other auto traffic.

The site has two existing 20-foot driveways that are approximately 25 feet from the edge of the rights-of-way from Spring and Water Streets (noted in blue). The applicant is proposing to add three new 12-foot driveways, two on Water Street, and one on Spring Street (noted in red).

Per the code requirements, the site is allowed one driveway up to 24-feet wide for two-way traffic on Water Street (secondary frontage). For one way traffic (entrance on Water, exit on Spring) staff was open to considering splitting the 24 feet into two 12-foot drives. Staff also requested making the Cash Station pedestrian only, in order to decrease the total number of drives.

The applicant submitted a Site Development Plan with a total of five driveways, all of which allow full turning movements (full left and right) when entering or exiting the drives.

Attachment 3



Other Items

- Easement Vacation: There is an existing Public Utility Easement and Access Easement that will have to be vacated before the Site Development Plan can be approved. The applicant has submitted the basic application, but staff is still waiting on additional documents and payment.
- Blanket Easement for Bastrop Power & Light for line relocation will need to be submitted.
- A Certificate of Appropriateness was approved by the Historic Landmark Commission on March 17, 2021 to allow a decrease in required clear window glass on the front façade from 60% to 6.5% clear and 6.5% frosted glass (13% window glass total).

POLICY EXPLANATION:

Per Table 2.4.001A Development Application Approval Process, if an applicant disagrees with the Director of Planning's denial of a Site Development Plan, the applicant can appeal the decision to the Planning & Zoning Commission.

Compliance with the Bastrop Building Block (B³) Code:

SEC. 6.3.005 ALLEYS & DRIVEWAY LOCATIONS

- (a) Intent: Building walkable cities means that while vehicles are part of modern life, they should have minimal disruption to the Public Realm. The Standards of the Code intend to ensure all modes of Transportation are respected.
- (b) The preferred means of vehicular access to lots is through the use of Alleys. Alleys provide a location to hide unsightly functions of our communities such as garages, garbage cans, transformers, electric meters, and telephone equipment.
- (c) Other benefits of Alleys include:
- (1) Alleys make it possible for rear accessed lots to be created, preserving the public frontages from interruptions of driveways and Curb-cuts.
 - (2) Safety as sidewalks and pedestrians become separated from the access requirements of vehicles.
 - (3) They create a more casual neighborhood space adjacent to backyard activity centers leaving the front of the House as a more formal community space.
- (d) Driveways:
- (1) Where Alleys are present, all vehicular access shall be provided from the Alley.
 - (2) Where a Lot does not have access to an Alley, driveways are allowed in accordance with this section.
 - (3) For corner lots, all driveways shall be located at the Secondary Frontage.
 - (4) Driveways shall be located as far from the adjacent public Street intersection as practical to achieve maximum available corner clearance, with consideration of property limits, adjacent Curb cuts, topography, and existing Drainage facilities. Non-Alley loaded driveways may intersect a Street no closer than twenty (20) feet from the intersection of 2 Street rights-of-way in P1, P2, and P3, and forty (40) feet in P4 and P5.
 - (5) Mid-Block lots greater than 40' in width at the Frontage are allowed one Driveway with a maximum width of 24' for two-way and 12' for one-way driveways.
 - (6) In P4 and P5, driveways accessing up to 80 feet wide of Street right-of-way must be spaced 200 feet apart centerline to centerline, and driveways accessing more than an 80 feet wide Street right-of-way must be spaced 300 feet apart centerline to centerline.
 - (7) Nothing in this section shall prevent all Site access to any property.

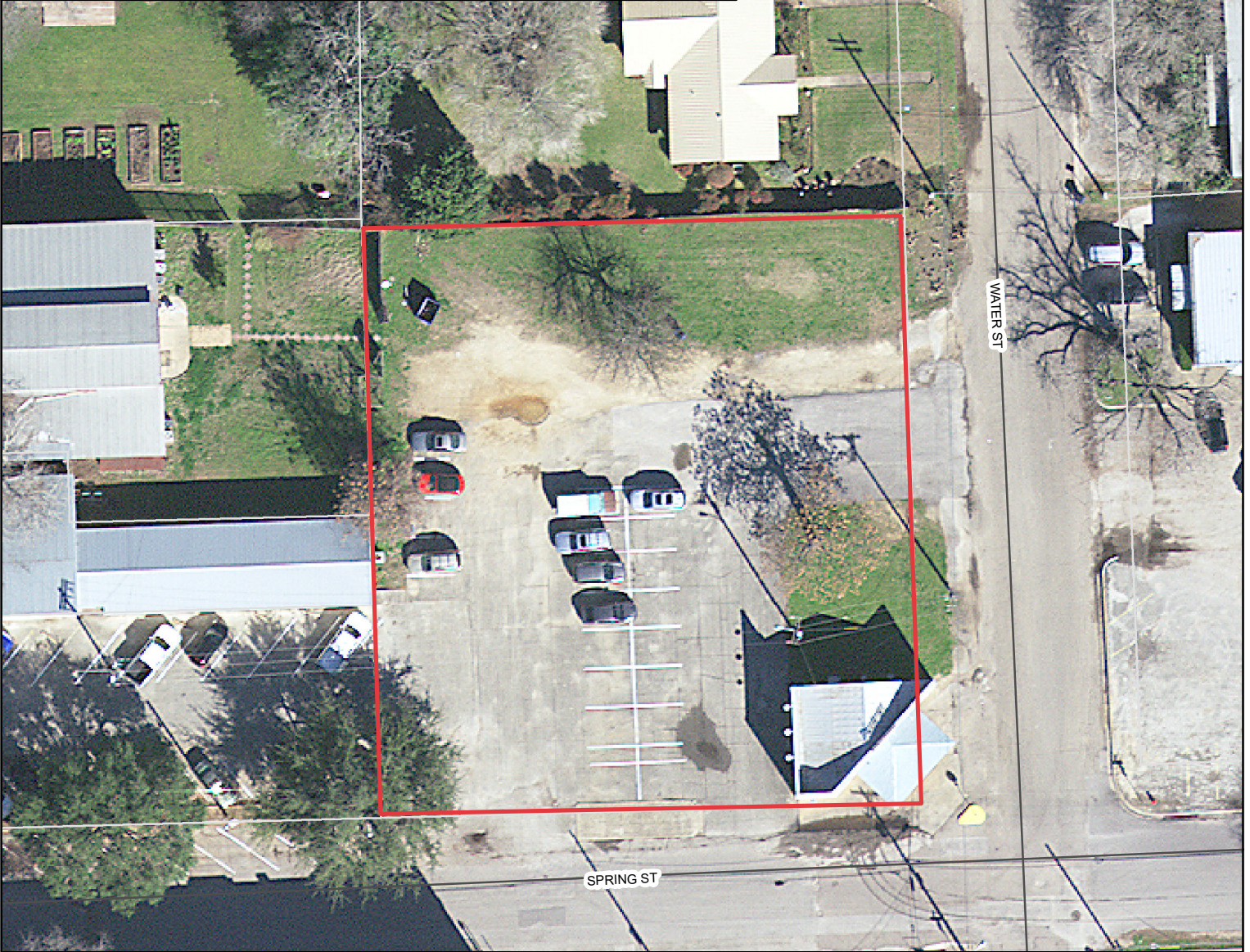
RECOMMENDATION:

Consider action to deny a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations.

ATTACHMENTS:

- Attachment 1: Location Map
- Attachment 2: Draft First National Bank Site Development Plan
- Attachment 3: Driveway Locations

Attachment 1 Location Map



1 inch = 45 feet

Appeal of Site Development Plan Denial 714 Spring Street

Date: 3/12/2021

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.





FIRST NATIONAL BANK OF BASTROP

SITE DEVELOPMENT PLAN FOR FIRST NATIONAL BANK OF BASTROP

714 SPRING STREET BASTROP, BASTROP COUNTY, TEXAS 78602

MARCH 2021 SWE PROJECT # 0930-001-20

ENGINEER:
SOUTHWEST ENGINEERS, INC.
205 CIMARRON PARK LOOP, SUITE B
BUDA, TX 78610
PH: (512) 312-4336
CONTACT: LUKE STEWART

OWNER/DEVELOPER:
FIRST NATIONAL BANK OF BASTROP
P O DRAWER F
BASTROP, TEXAS 78602
CONTACT: REID SHARP, PRESIDENT/CEO
PHONE: (512) 581-4400

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP
9600 GREAT HILLS TRAIL #150W
AUSTIN, TEXAS 78759
CONTACT: RODNEY MCNABB
PHONE: (800) 680-6630

SURVEYOR:
OLSON SURVEYING
711 WATER STREET
BASTROP, TEXAS 78602
PHONE: (512) 321-5476

FLOODPLAIN STATUS:

THE PROPERTY LIES IN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN), AS SHOWN ON THE FEMA MAP PANEL NO. 48021C0355E, FOR BASTROP COUNTY-TEXAS, DATED JANUARY 19, 2006.

LEGAL DESCRIPTION:

MAIN & SPRING SUBDIVISION, LOT 2, ACRES 0.588

JURISDICTION:

CITY OF BASTROP (FULL PURPOSE)

UTILITY PROVIDERS:

WATER SERVICE: CITY OF BASTROP
WASTEWATER SERVICE: CITY OF BASTROP
ELECTRIC SERVICE: BASTROP POWER AND LIGHT (BP&L)

DESIGN CODES:

BASTROP BUILDING BLOCK (BP) CODE

ZONING:

BLOCK DESIGNATION	ACREAGE	LOT	CHARACTER DISTRICT	PLACE TYPE
BUILDING BLOCK 6	0.588	2	OLD TOWN	P-5 (CORE)

NOTES:

- CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES, PRIVATE AND PUBLIC, WITHIN THE WORK AREA. NEITHER OWNER NOR ENGINEER HAS AS-BUILT INFORMATION FOR UNDERGROUND UTILITIES AND MAKES NO GUARANTEE AS TO THEIR LOCATION. CONTRACTOR WILL EMPLOY CONSTRUCTION METHODS NECESSARY TO ENSURE UNDERGROUND UTILITIES ARE NOT DAMAGED (IE. HAND DIGGING ETC.). THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES, PRIVATE OR PUBLIC, AND SHALL REPAIR ANY UTILITIES DAMAGED TO THE OWNER'S SPECIFICATIONS AT NO COST TO HIM.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF BASTROP RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. BASTROP POWER AND LIGHT (BP&L) WILL NOT RENDER ELECTRIC SERVICES UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.



LOCATION MAP
N.T.S.

BASTROP FIRE DEPARTMENT	
FIRE DESIGN CODES	2018 INTERNATIONAL FIRE CODE WITH CITY OF BASTROP LOCAL AMENDMENTS
FIRE FLOW DEMAND @ 20 PSI	1,855 GPM
INTENDED USE	BANK
CONSTRUCTION CLASSIFICATION	V-B
BUILDING FIRE AREA	± 2,150 SF
AUTOMATIC FIRE SPRINKLER SYSTEM	NO
REDUCED FIRE FLOW DEMAND @ 20 PSI	1,500 GPM (MINIMUM)
FIRE HYDRANT FLOW TEST DATE	11/18/2020
FIRE HYDRANT FLOW TEST LOCATION	SPRING ST. / WATER ST.
ALTERNATIVE METHOD OF COMPLIANCE AMOC (IF APPLICABLE)	N/A

CORRECTION / REVISION

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL SHEETS IN PLAN SET	NET CHANGE IMP. COVER	SITE IMP. COVER	% SITE IMP. COVER	APPROVED DATE	IMAGED DATE

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	NOTES SHEET
3	PLAT SHEET
4	EXISTING CONDITIONS SHEET
5	EROSION & SEDIMENTATION CONTROL PLAN
6	EXISTING DRAINAGE AREA MAP
7	PROPOSED DRAINAGE AREA MAP
8	SITE & DIMENSION CONTROL PLAN
9	UTILITY PLAN
10	GRADING PLAN
11	TRAFFIC CONTROL PLAN
12	SITE DETAILS
13	LANDSCAPE & PUBLIC FRONTAGE PLAN
14	LANDSCAPE DETAILS & SPECIFICATIONS
15	LANDSCAPE IRRIGATION PLAN
16	IRRIGATION DETAILS & SPECIFICATIONS (1 OF 2)
17	IRRIGATION DETAILS & SPECIFICATIONS (2 OF 2)
18	PHOTOMETRIC PLAN (SHEET 1 OF 3)
19	PHOTOMETRIC PLAN (SHEET 2 OF 3)
20	PHOTOMETRIC PLAN (SHEET 3 OF 3)
21	EXTERIOR ELEVATIONS (SHEET 1 OF 3)
22	EXTERIOR ELEVATIONS (SHEET 2 OF 3)
23	EXTERIOR ELEVATIONS (SHEET 3 OF 3)

SUBMITTED BY: SOUTHWEST ENGINEERS, INC.
DATE: JANUARY 19, 2021

I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

NAME OF OWNER/TRUSTEE _____ DATE _____

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

DIRECTOR OF PLANNING AND DEVELOPMENT _____ DATE _____

CITY OF BASTROP ENGINEER _____ DATE _____

CITY OF BASTROP FIRE DEPARTMENT _____ DATE _____

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

COVER SHEET

FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. _____

SHEET 1 OF 23

O:\compendata\Clients\0930 - novus architects\001-20_fnb_bastrop_site_plan\cad [com]\Sheets\0930-001_COVER.dwg ~ Layout: "BASTROP" ~ Mon, Mar 15, 2021, 3:35pm, By: C1038_Lukes

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP DESIGN AND CONSTRUCTION STANDARDS MANUAL.
2. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.
3. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION...

TRENCH SAFETY NOTES

- 1. IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U. S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD AND COMPACT OR SOFT AND UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED.
2. IN ACCORDANCE WITH THE U. S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, WHEN PERSONS ARE IN TRENCHES 4-FEET DEEP OR MORE, ADEQUATE MEANS OF EXIT, SUCH AS A LADDER OR STEPS, MUST BE PROVIDED AND LOCATED SO AS TO REQUIRE NO MORE THAN 25 FEET OF LATERAL TRAVEL.

STREET AND DRAINAGE NOTES

- 1. ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE APPLICANT'S EXPENSE. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY INSPECTOR AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING.
2. BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 85% MAXIMUM DENSITY TO WITHIN 3 INCHES OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 3 INCHES IN THE GREATEST DIMENSION...

Table with columns: SECTION TYPE, DUTY, PCC THICKNESS, HMAC THICKNESS, LIME STAB. THICKNESS. Rows include RIGID (LIGHT, MODERATE, HEAVY) and ASPHALT (LIGHT, MODERATE).

- 8. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISION OF THE CONSTRUCTION PLANS.
9. WHERE P'S ARE OVER 20, SUBGRADES MUST BE STABILIZED UTILIZING A METHOD ACCEPTABLE TO THE CITY ENGINEER...

WATER AND WASTEWATER NOTES

- 1. PIPE MATERIAL FOR WATER MAINS SHALL BE PVC (AWWA C-900, MINIMUM CLASS 200), OR DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200). WATER SERVICES (2 INCHES OR LESS) SHALL BE POLYETHYLENE TUBING (BLACK, 200 PSI, DR 9).
2. PIPE MATERIAL FOR PRESSURE WASTEWATER MAINS SHALL BE PVC, OR DUCTILE IRON (MINIMUM CLASS 250). PIPE MATERIAL FOR GRAVITY WASTEWATER MAINS SHALL BE PVC (ASTM D2241 OR D3034, MAXIMUM DR-26), DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200020).
3. UNLESS OTHERWISE ACCEPTED BY THE CITY ENGINEER, DEPTH OF COVER FOR ALL LINES OUT OF THE PAVEMENT SHALL BE 42 INCHES MINIMUM, AND DEPTH OF COVER FOR ALL LINES UNDER PAVEMENT SHALL BE A MINIMUM OF 30 INCHES BELOW SUBGRADE.

TRAFFIC MARKING NOTES

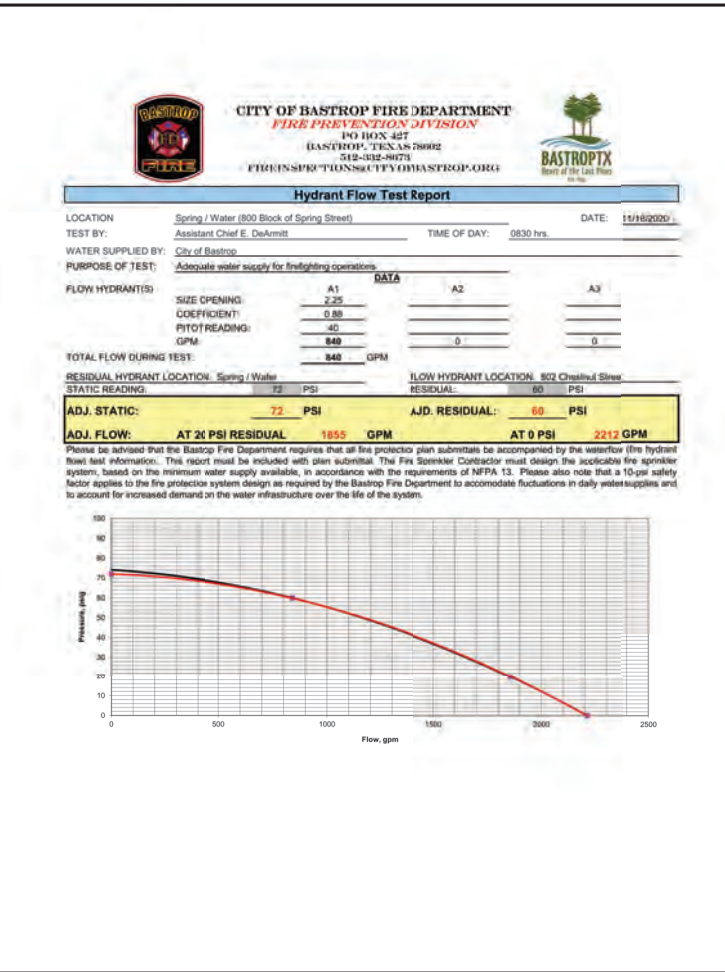
- 1. ANY METHODS, STREET MARKINGS AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIANS OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
2. ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES AND, THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITIONS.

EROSION AND SEDIMENTATION CONTROL NOTES

- 1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CODE OF ORDINANCES.
2. ALL SLOPES SHALL BE SODDED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED.
3. SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES...

BASTROP FIRE DEPARTMENT GENERAL NOTES

- 1. THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING 'ALL-WEATHER DRIVING CAPABILITIES' SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR TEMPORARY ROADS.
2. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE LARGE DIAMETER HOSE CONNECTION (STEAMER) LOCATED AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE STEAMER OPENING OF FIRE HYDRANTS SHALL FACE THE APPROVED FIRE ACCESS DRIVEWAY OR PUBLIC-STREET AND SET BACK FROM THE CURB LINE(S) AN APPROVED DISTANCE, TYPICALLY THREE (3) TO SIX (6) FEET...



Revision table with columns: NO., REVISION, DATE.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL J. VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034
CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336

WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE
DRAWN BY: LS
CHECKED BY: PV

NOTES SHEET
FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20
DRAWING NO.
SHEET 2 OF 23

0:\compendata\Clients\0930 - novus architects\001-20_fnb_bastrop site plan\lead [com]\Sweets\0930-001_NOTES.dwg ~ Layout: "BASTROP" ~ Mon, Mar 15, 2021, 3:35pm, By: C1038_Lukas

MAIN & SPRING SUBDIVISION

SCALE: 1" = 20'

NO PORTION OF THIS TRACT LIES WITHIN A SPECIAL FLOOD HAZARD AREA designated as such by the Department of Housing and Urban Development, Federal Insurance Administration, as shown on Form Number: 48021C03355E for BASTROP COUNTY, TEXAS. Effective Date: 01/19/08. This Tract lies in Zone X.

RECORDING: This Flood Statement, as determined by a H.U.D.-F.I.A. FLOOD HAZARD BOUNDARY MAP, DOES NOT IMPLY that the Property or the Improvements thereon will be free from Flooding or Flood Damage. On rare occasions, Greater Floods Can and Will Occur, and Flood Heights may increase by Man-Made or Natural Causes. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

LEGEND:

- IRON ROD FOUND
- 1" x CONCRETE
- 6" x 6" IRON ROD SET
- ▲ FENCE POST
- UTILITY POLE
- STREET LIGHT
- FENCE LINE
- ABOVE GROUND UTILITY SERVICE (ELECTRIC, PHONE & CABLE)
- () EASEMENT CALLS

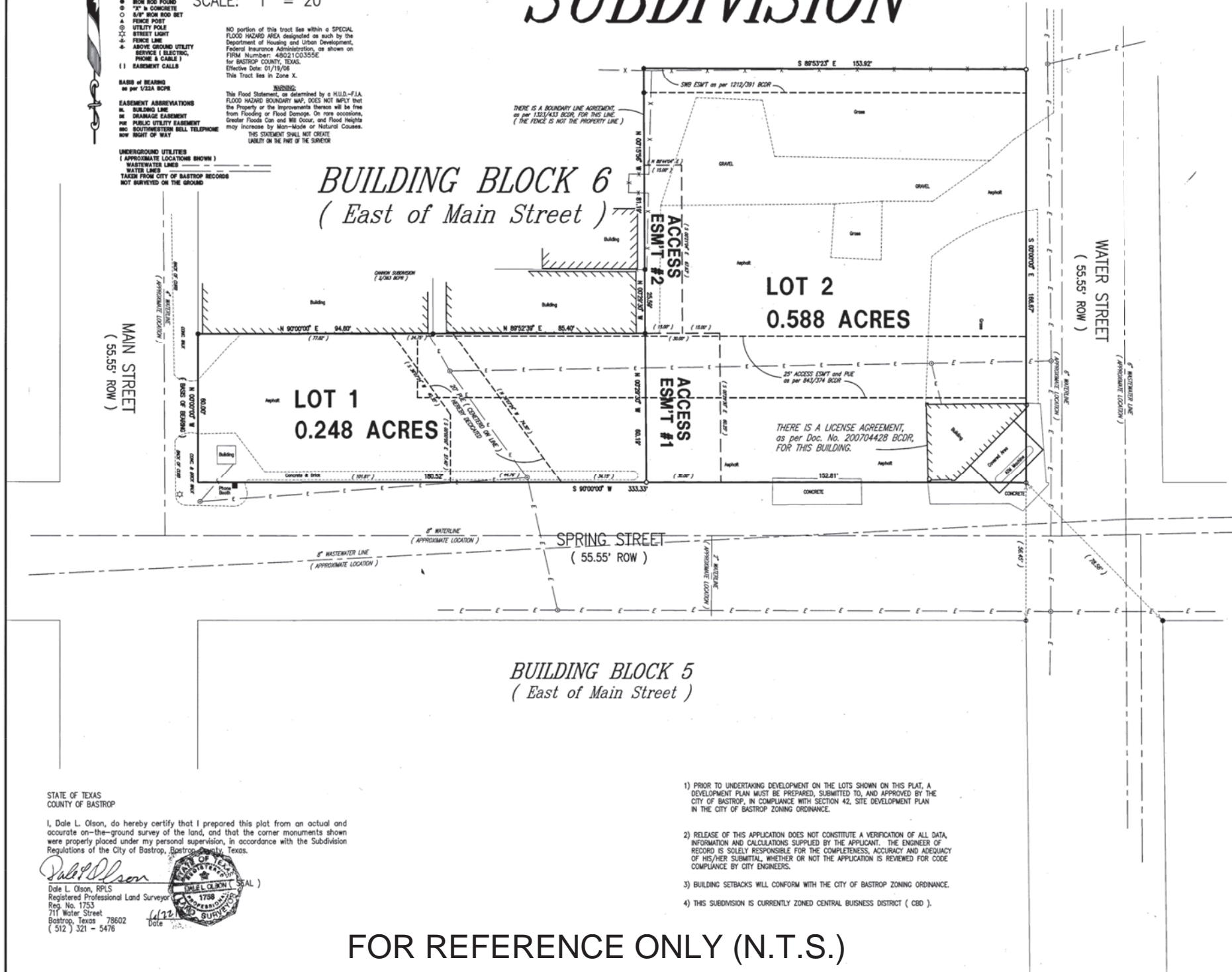
BASE OF BEARING as per 1/22A BCPR

EASEMENT ABBREVIATIONS

- BL BUILDING LINE
- DE DRAINAGE EASEMENT
- PL PUBLIC UTILITY EASEMENT
- NO NORTHWESTERN BELL TELEPHONE
- ROW RIGHT OF WAY

UNDERGROUND UTILITIES (APPROXIMATE LOCATIONS SHOWN)

- W WASTEWATER LINE
- W WATER LINE
- T TAXER FROM CITY OF BASTROP RECORDS NOT SURVEYED ON THE GROUND



STATE OF TEXAS
COUNTY OF BASTROP

KNOW ALL MEN BY THESE PRESENTS:

That First National Bank of Bastrop, owner of 0.836 ACRES out of BUILDING BLOCK 6, East of Main Street, in the City of Bastrop, Bastrop County, Texas, do hereby subdivide said tract in accordance with the plat shown hereon, subject to any easements or restrictions heretofore granted, to be known as **MAIN & SPRING SUBDIVISION**, and do hereby dedicate to the Public the use of the streets and easements as shown hereon.

Witness my hand this the 21 day of JUNE, 2007, A.D.

Reid Sharp
Reid Sharp, President

STATE OF TEXAS
COUNTY OF BASTROP

This instrument was acknowledged before me on the 21st day of June, 2007, by Reid Sharp.

Polly W. Frushay
Notary Public, State of Texas
POLLY W. FRUSHAY
Printed Name of Notary / Expires 4/28/2010

APPROVED: Tom Scott ATTEST: Dorcas Valdez
Tom Scott, Mayor of the City of Bastrop, Texas City Secretary, City of Bastrop, Texas

STATE OF TEXAS
COUNTY OF BASTROP

I, Rose Pietsch, Clerk of Bastrop County do hereby certify that the foregoing instrument of writing and the certificate of authentication was filed for record in my office on this the 22nd day of June, 2007, A.D. in the Plat Records of said County and State in Plat Cabinet 5, Page(s) 5-B.

Filed for Record at 1:15 o'clock PM, this the 22nd day of June, 2007, A.D.

Witness my hand and seal of the office of County Clerk of said County on this the 22nd day of June, 2007, A.D.

ROSE PIETSCH
By *Mary Casey*
Rose Pietsch
County Clerk
Bastrop County, Texas

FILED JUN 22 2007
Rose Pietsch
COUNTY CLERK
BASTROP COUNTY TEXAS

STATE OF TEXAS
COUNTY OF BASTROP

I, Dale L. Olson, do hereby certify that I prepared this plat from an actual and accurate on-the-ground survey of the land, and that the corner monuments shown were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Bastrop, Bastrop County, Texas.

Dale L. Olson
Dale L. Olson, RPLS
Registered Professional Land Surveyor
Reg. No. 1753
711 Water Street
Bastrop, Texas 78602
(512) 321-5476

- PRIOR TO UNDERTAKING DEVELOPMENT ON THE LOTS SHOWN ON THIS PLAT, A DEVELOPMENT PLAN MUST BE PREPARED, SUBMITTED TO, AND APPROVED BY THE CITY OF BASTROP, IN COMPLIANCE WITH SECTION 42, SITE DEVELOPMENT PLAN IN THE CITY OF BASTROP ZONING ORDINANCE.
- RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
- BUILDING SETBACKS WILL CONFORM WITH THE CITY OF BASTROP ZONING ORDINANCE.
- THIS SUBDIVISION IS CURRENTLY ZONED CENTRAL BUSINESS DISTRICT (CBD).

FOR REFERENCE ONLY (N.T.S.)

MAIN & SPRING SUBDIVISION 3640 Lc

NO.	REVISION	DATE

Southwest Engineers
HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034
CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336
TBPE NO. F-1909
www.swengineers.com

WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

PLAT SHEET

FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. _____

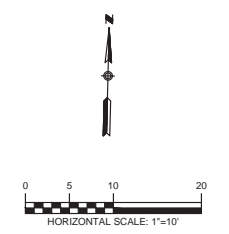
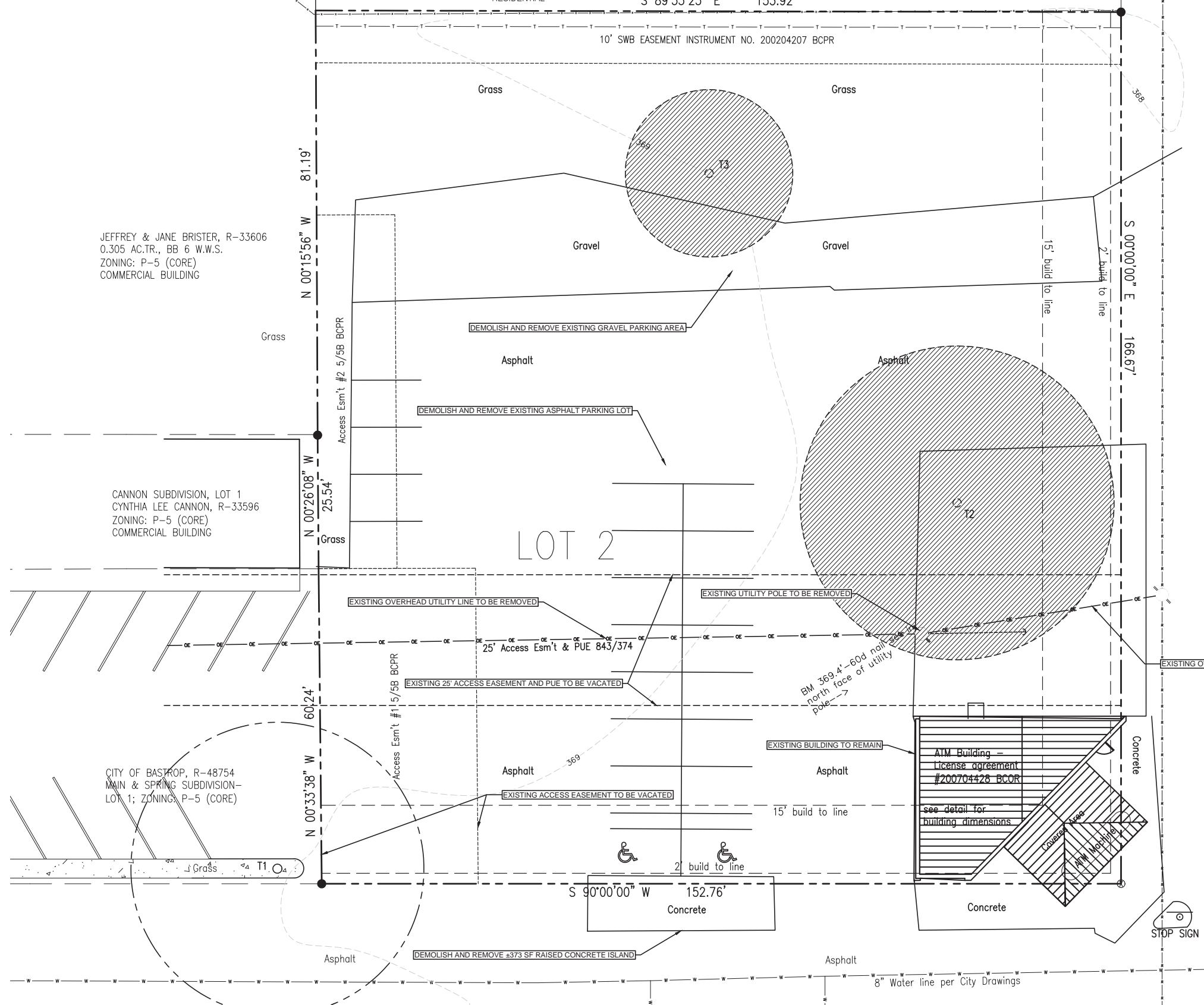
SHEET 3 OF 23

O:\Companydata\Clients\0930 - novus architects\0930 - novus architects\0930-001_EXST.dwg ~ Layout: "EXIST" ~ Mon, Mar 15, 2021, 3:35pm, By: C1038_LukeS

CURTIS G McDONALD, R-45731; 0.3230 AC.TR BB 6 W.W.S.
ZONING: P-5 (CORE)

ALICE GUTIERREZ, R-33617
0.289 AC.TR. BB 6, W.W.S.
ZONING: P-5 (CORE)
RESIDENTIAL

BUILDING BLOCK 6, W.W.S.



TREE LIST	
TREE NO.	DIAMETER/SPECIES
T1	28" LIVE OAK
T2	30" CHINABERRY (R)
T3	16" HACKBERRY (R)

(R) = REMOVED

TEXAS ONE CALL SYSTEM
1-800-245-4545
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES. GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER, THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PAUL J. VIKTORIN
LICENSED PROFESSIONAL ENGINEER
66879
03/15/2021

Southwest Engineers
TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336

WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

EXISTING CONDITIONS SHEET

FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

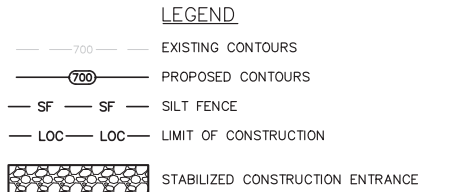
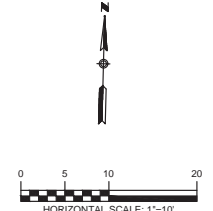
DRAWING NO. _____

SHEET 4 OF 23

CURTIS G McDONALD, R-45731; 0.3230 AC.TR BB 6 W.W.S.
ZONING: P-5 (CORE)

ALICE GUTIERREZ, R-33617
0.289 AC.TR. BB 6, W.W.S.
ZONING: P-5 (CORE)
RESIDENTIAL

BUILDING BLOCK 6, W.W.S.



- SEQUENCE OF CONSTRUCTION**
- INSTALL EROSION CONTROLS PER APPROVED PLAN.
 - TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
 - CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
 - CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
 - CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
 - CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
 - INSTALL STREETScape AND/OR LANDSCAPING IMPROVEMENTS.
 - CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 70% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

NOTE
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS.

LIMITS OF CONSTRUCTION:
±31,809 SF = ±0.730 AC

TEXAS ONE CALL SYSTEM
1-800-246-4245
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES. GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER, THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

O:\compendata\Clients\0930 - novus architects\0930 - novus architects\0930-001_EROSION.dwg ~ Mon, Mar 15, 2021, 3:35pm, By: C1038-LukeS

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Southwest Engineers
TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336

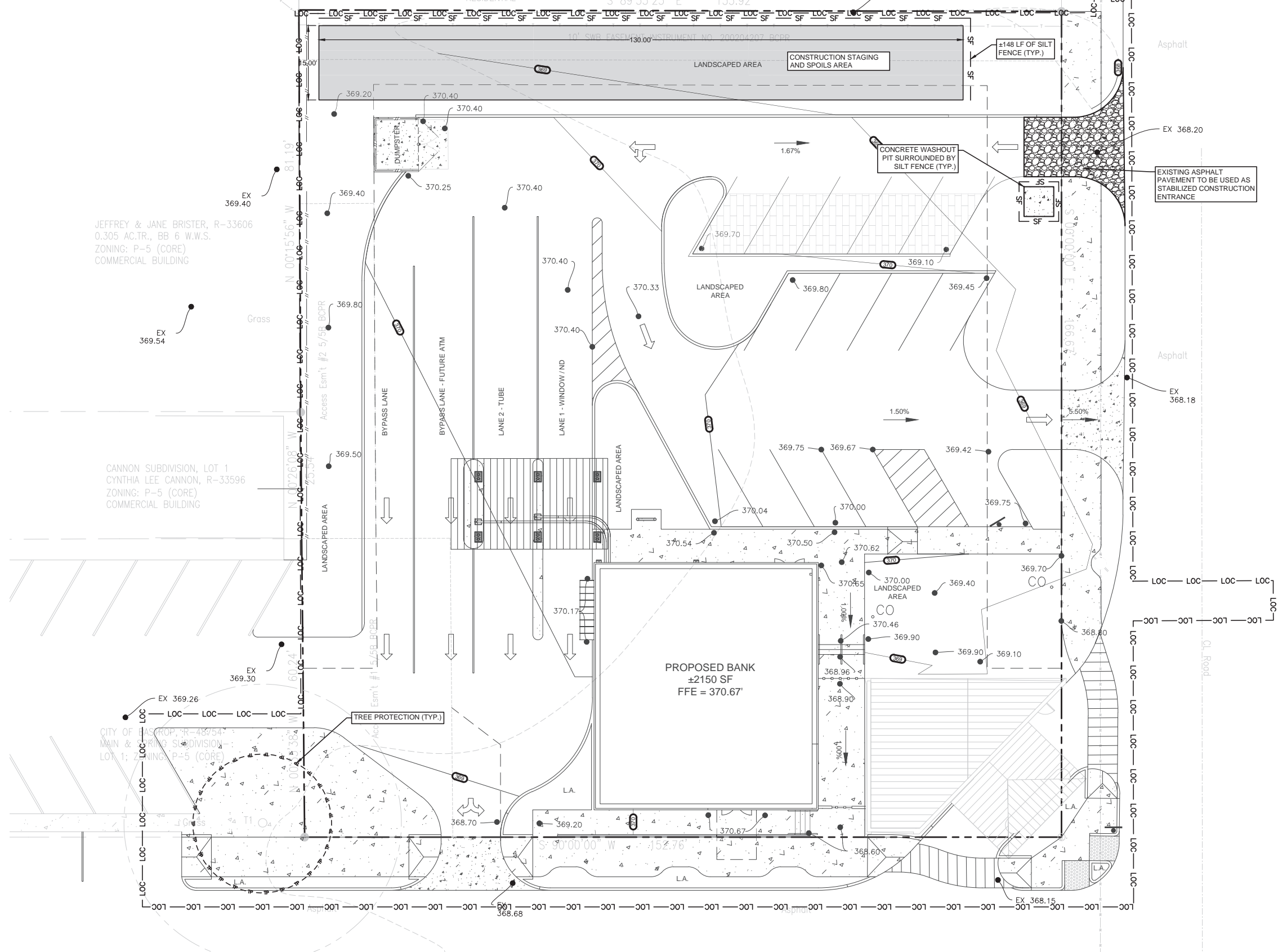
WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

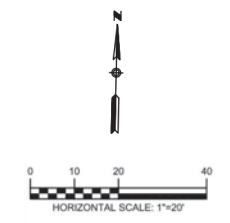
DRAWN BY: LS
CHECKED BY: PV

EROSION & SEDIMENTATION CONTROL PLAN

FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20
DRAWING NO. _____
SHEET 5 OF 23





- LEGEND**
- - - 700 - - - EXISTING CONTOURS
 - - - 700 - - - PROPOSED CONTOURS
 - - - - - DRAINAGE AREA
 - TC - TC - TIME OF CONCENTRATION
 - A-1 ○ POINT OF ANALYSIS
 - ← DRAINAGE FLOW DIRECTION
 - DA ○ DRAINAGE AREA LABEL
 - # INLET LABEL

- NOTES:**
- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY OLSON SURVEYING OBTAINED ON AUGUST, 10TH 2020.
 - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY (USGS) 2010 CONTOURS.




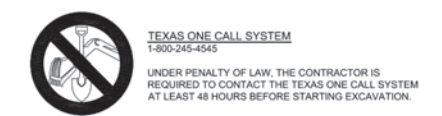
I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

Reid Sharp President/CEO 12/14/2020
 NAME OF OWNER/TRUSTEE DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

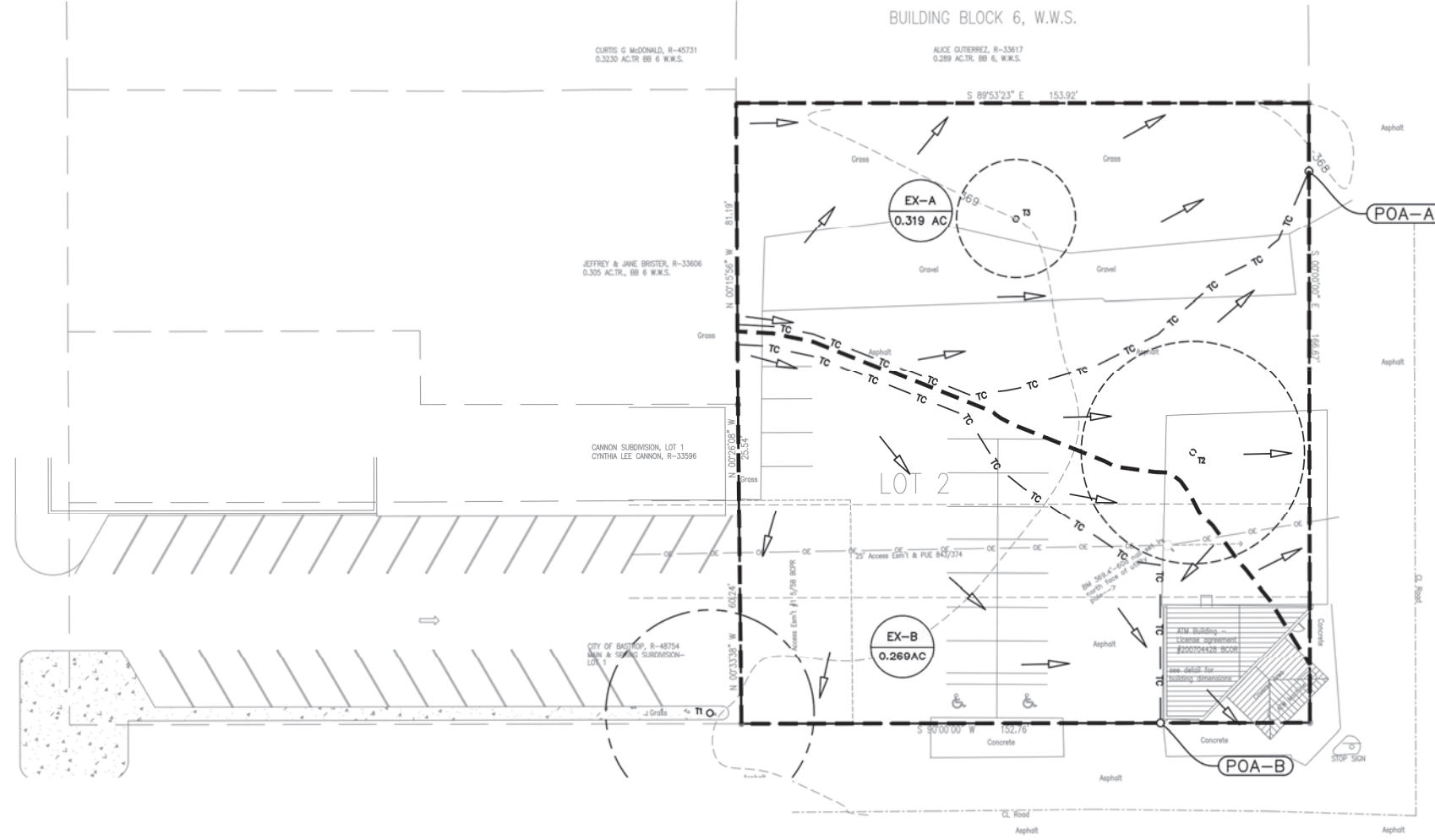
ACCEPTED FOR CONSTRUCTION:

 CITY OF BASTROP ENGINEER 12/24/2020
 DATE



NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARM'S WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.



TIME OF CONCENTRATION

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)				
	SLOPE (FT/FT)	L (FT)	n	Tc sheet (MIN.)	SLOPE (FT/FT)	L (FT)	Paved? Y or N	Tc Shallow (MIN.)	Vavg (FT/S)	L (FT)	Tc Channel (MIN.)	Total Tc (MIN.)	Tc Used (MIN.)
EXA	0.005	100.000	0.013	2.1	0.011	82	Y	0.6	4.00	0	0.00	2.7	10.0
EXB	0.005	100.000	0.013	2.2	0.003	76	Y	1.1	4.00	0	0.00	3.3	10.0

DRAINAGE SUMMARY TABLE (RATIONAL METHOD)

Drainage Area No.	Area (ac.)	Estimated Impervious Cover (ac.)	Impervious Cover (%)	Tc (min.)	Pervious Cover Condition	2-Yr.				10-Yr.				25-Yr.				100-Yr.			
						C ₁₂	C ₂	i ₂ (in/hr)	Q ₂ (cfs)	C ₁₀	C ₁₀	i ₁₀ (in/hr)	Q ₁₀ (cfs)	C ₂₅	C ₂₅	i ₂₅ (in/hr)	Q ₂₅ (cfs)	C ₁₀₀	C ₁₀₀	i ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)
EXA	0.319 ac	0.15 ac	48%	10.0 min.	Dev - Grass - Good Condition - Average, 2-7%	1.00	0.51	4.74 in/hr	0.8 cfs	1.10	0.58	7.47 in/hr	1.5 cfs	1.20	0.63	9.01 in/hr	2.2 cfs	1.25	0.71	11.82 in/hr	3.3 cfs
EXB	0.269 ac	0.25 ac	93%	10.0 min.	Dev - Grass - Good Condition - Average, 2-7%	1.00	0.72	4.74 in/hr	0.9 cfs	1.10	0.80	7.47 in/hr	1.8 cfs	1.20	0.84	9.01 in/hr	2.5 cfs	1.25	0.93	11.82 in/hr	3.7 cfs

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Southwest Engineers
 TBPE NO. F-1909
 www.swengineers.com

HEADQUARTERS
 3107 Saint Lawrence Street, Gonzales, TX 78029
 P. 830.470.7545 F. 830.470.4034

CENTRAL TEXAS
 205 Cimarron Park Loop, Ste. B, Buda, TX 78010
 P. 512.312.4205

WARNING
 IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

EXISTING DRAINAGE AREA MAP

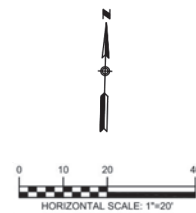
FIRST NATIONAL BANK OF BASTROP
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. _____

SHEET 6 OF 14

C:\temp\projects\0930-001-20_fnb_bastrop_site_plan\0930-001-20_fnb_bastrop_site_plan\0930-001-20_fnb_bastrop_site_plan.dwg ~ Plot, Dec 11, 2020, 6:03pm, By: CIO38_LukeS



- LEGEND**
- - - 700 - - - EXISTING CONTOURS
 - - - 700 - - - PROPOSED CONTOURS
 - - - - - DRAINAGE AREA
 - TC - TC - TIME OF CONCENTRATION
 - A-1 ○ POINT OF ANALYSIS
 - ← DRAINAGE FLOW DIRECTION
 - DA ACRES DRAINAGE AREA LABEL
 - # INLET LABEL

- NOTES:**
- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY OLSON SURVEYING OBTAINED ON AUGUST, 10TH 2020.
 - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY (USGS) 2019 CONTOURS.



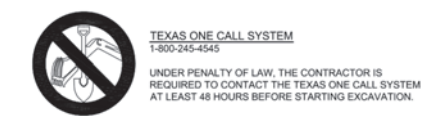
I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

Reid Sharp President/CEO 12/14/2020
 NAME OF OWNER/TRUSTEE DATE

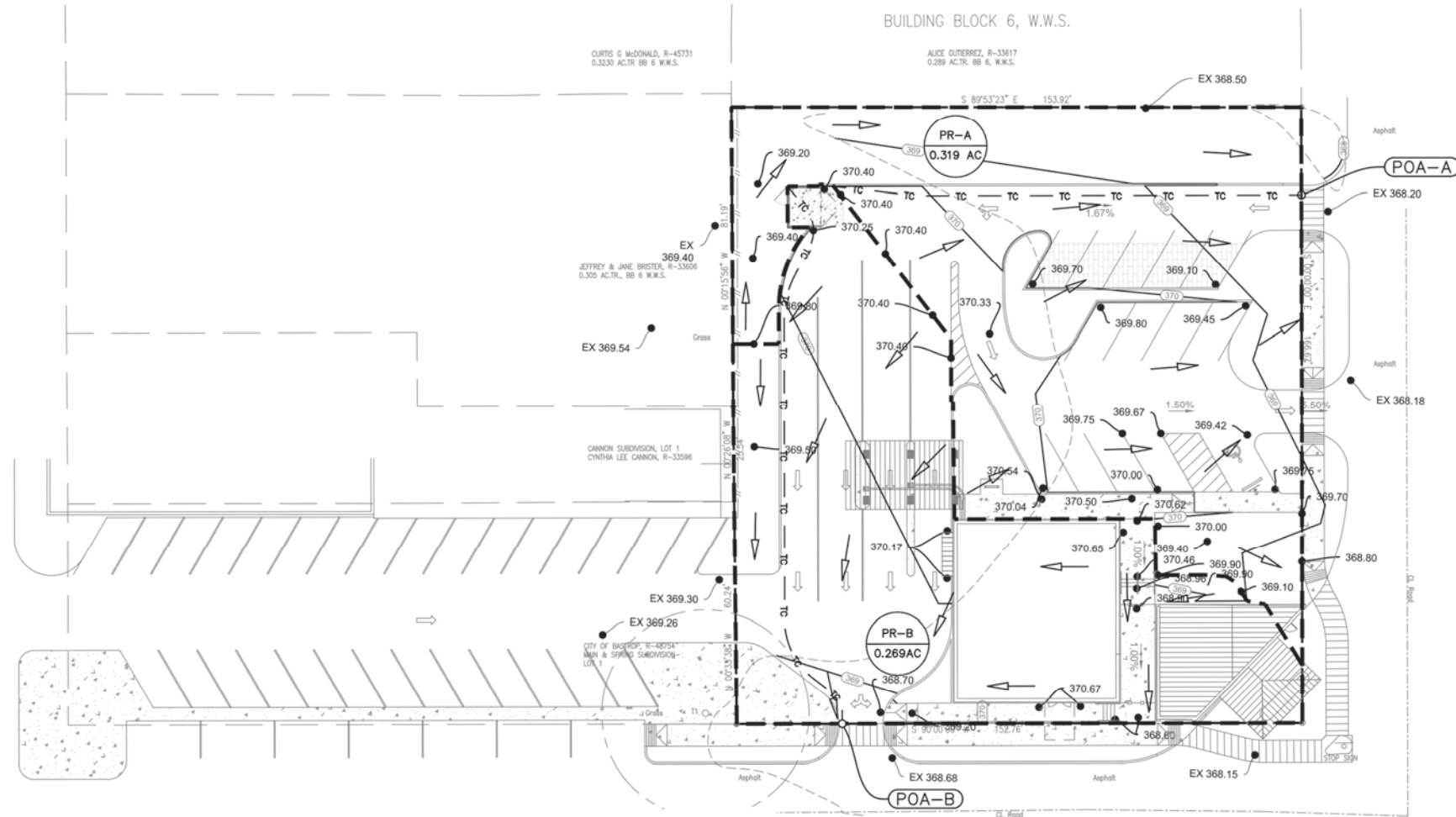
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:
 12/24/2020
 CITY OF BASTROP ENGINEER DATE



NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT
 THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES. ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.



TIME OF CONCENTRATION

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)				Total Tc (MIN.)	Tc Used (MIN.)
	SLOPE (FT/FT)	L FT	n	Tc sheet (MIN.)	SLOPE (FT/FT)	L FT	Paved? Y or N	Tc Shallow (MIN.)	Vavg (FT/S)	L	Tc Channel (MIN.)			
EXA	0.005	100.000	0.013	2.1	0.011	82	Y	0.6	4.00	0	0.00	2.7	10.0	
EXB	0.005	100.000	0.013	2.2	0.003	76	Y	1.1	4.00	0	0.00	3.3	10.0	
PR A	0.017	100.000	0.013	1.3	0.017	27	Y	0.2	4.00	0	0.00	1.5	10.0	
PR B	0.010	100.000	0.013	1.6	0.010	55	Y	0.5	4.00	0	0.00	2.1	10.0	

DRAINAGE SUMMARY TABLE (RATIONAL METHOD)

Drainage Area No.	Area (ac.)	Estimated Impervious Cover (ac.)	Impervious Cover (%)	T _c (min.)	Pervious Cover Condition	2-Yr.								10-Yr.				25-Yr.				100-Yr.									
						C ₁		C ₂		I ₂ (in/hr)		Q ₂ (cfs)		C ₁₀		I ₁₀ (in/hr)		Q ₁₀ (cfs)		C ₂₅		I ₂₅ (in/hr)		Q ₂₅ (cfs)		C ₁₀₀		I ₁₀₀ (in/hr)		Q ₁₀₀ (cfs)	
						C ₁	C ₂	I ₂	Q ₂	C ₁₀	C ₁₀	I ₁₀	Q ₁₀	C ₂₅	C ₂₅	I ₂₅	Q ₂₅	C ₁₀₀	C ₁₀₀	I ₁₀₀	Q ₁₀₀										
EX-A	0.319 ac	0.15 ac	48%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.47	4.74 in/hr	0.7 cfs	1.10	0.53	7.47 in/hr	1.4 cfs	1.20	0.58	9.01 in/hr	2.0 cfs	1.25	0.66	11.82 in/hr	3.1 cfs										
EX-B	0.269 ac	0.25 ac	93%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.71	4.74 in/hr	0.9 cfs	1.10	0.79	7.47 in/hr	1.7 cfs	1.20	0.84	9.01 in/hr	2.4 cfs	1.25	0.93	11.82 in/hr	3.7 cfs										
PR-A	0.319 ac	0.15 ac	48%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.47	4.74 in/hr	0.7 cfs	1.10	0.53	7.47 in/hr	1.4 cfs	1.20	0.58	9.01 in/hr	2.0 cfs	1.25	0.66	11.82 in/hr	3.1 cfs										
PR-B	0.269 ac	0.24 ac	91%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.70	4.74 in/hr	0.9 cfs	1.10	0.78	7.47 in/hr	1.7 cfs	1.20	0.83	9.01 in/hr	2.4 cfs	1.25	0.91	11.82 in/hr	3.6 cfs										

D:\Viktorin\Projects\0930-001_DRAINAGE.dwg ~ Layout: "PROP DA MAP" ~ Fri, Dec 11, 2020, 6:03pm, By: C1038, Lakes

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Southwest Engineers
 TBEPE NO. P-1909
 www.swengineers.com

HEADQUARTERS
 1017 S. Main Street, Houston, TX 77002
 P: 281.479.7545 F: 281.479.4034

CENTRAL TEXAS
 305 Cameron Park Loop, Ste. B, Buda, TX 78602
 P: 312.312.4329

WARNING
 IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

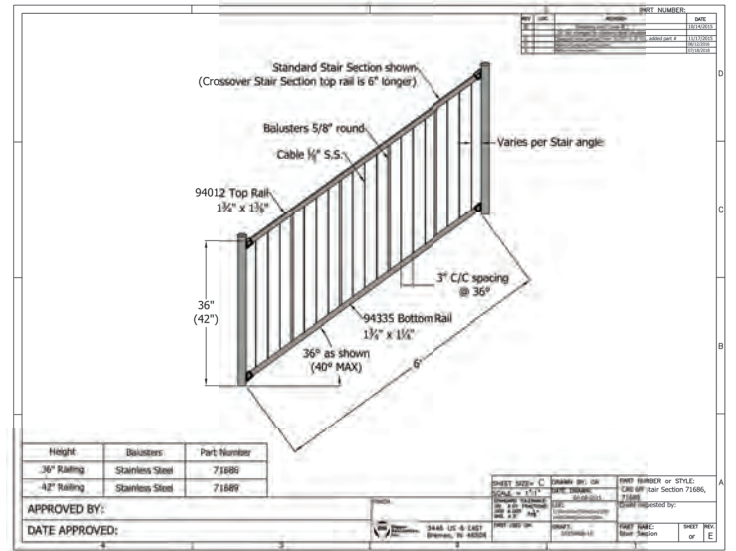
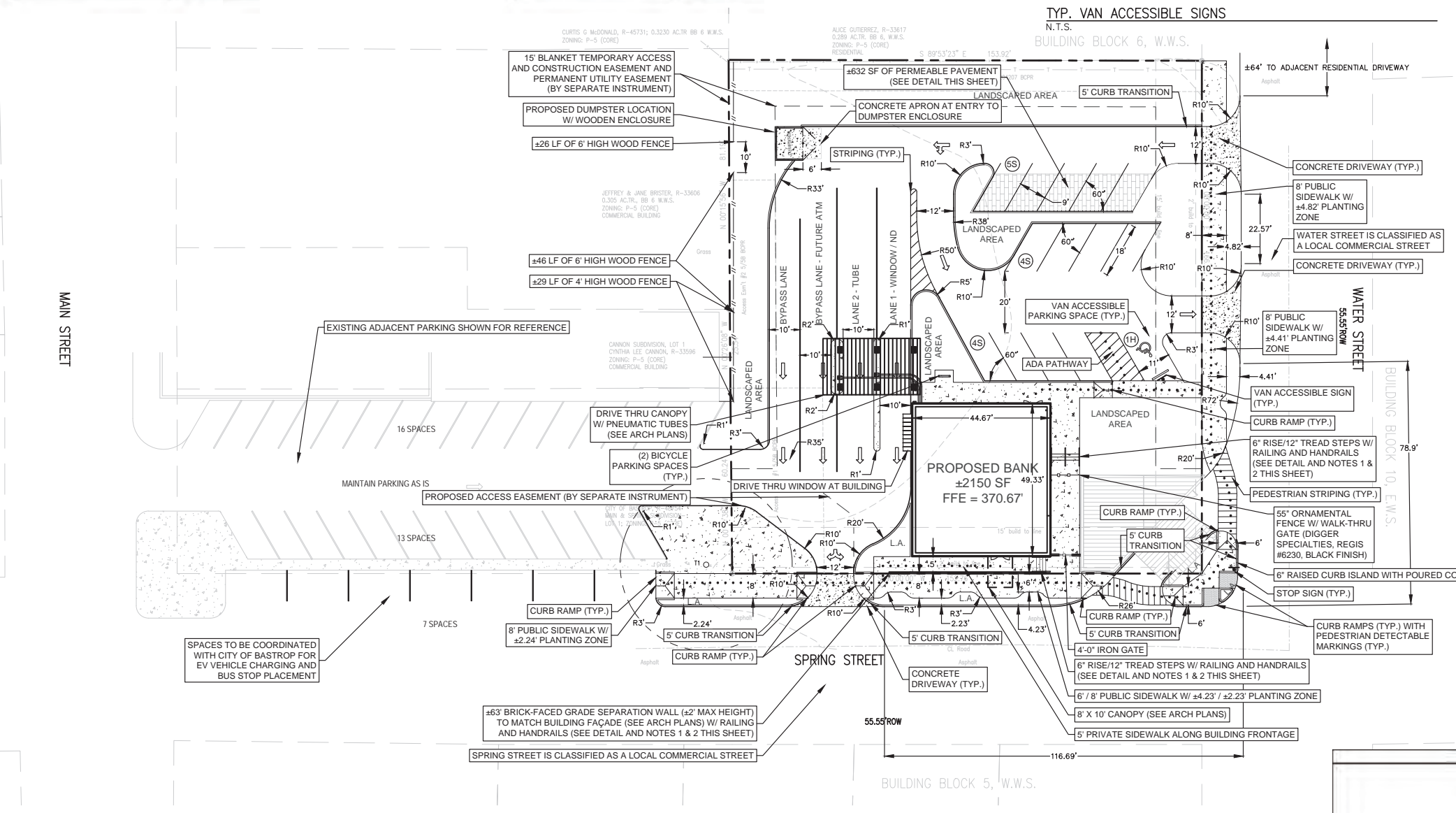
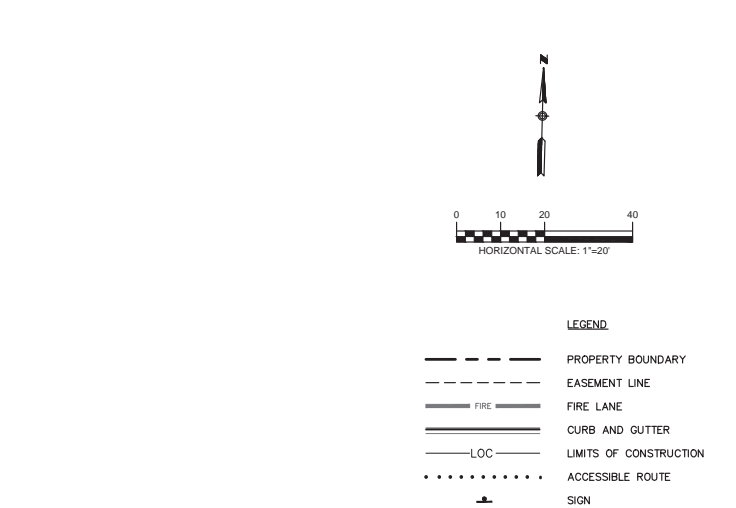
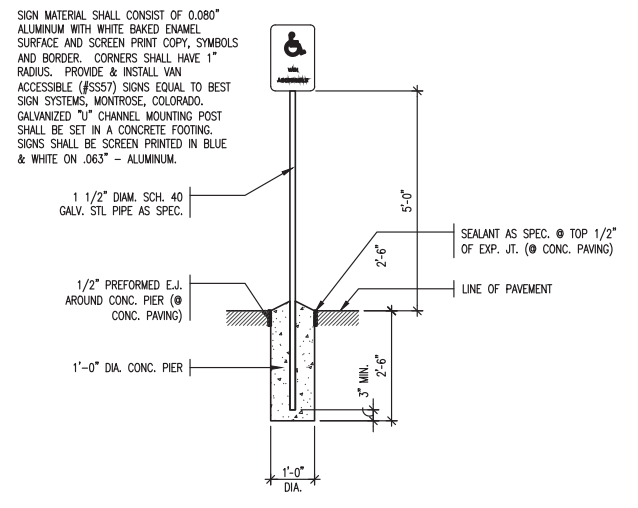
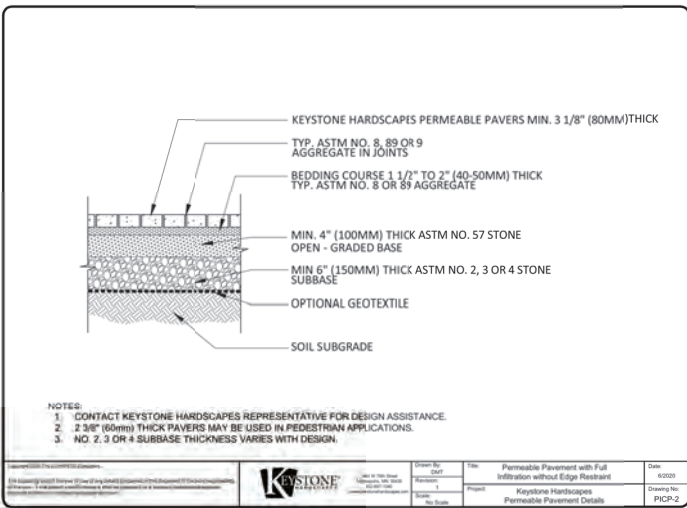
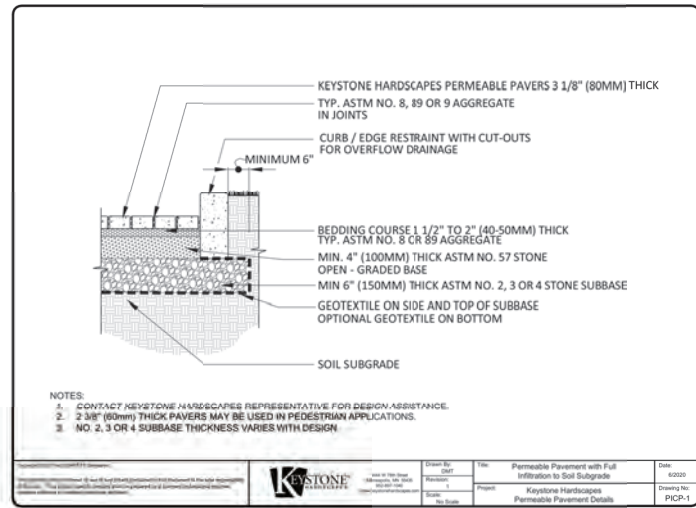
DRAWN BY: LS

CHECKED BY: PV

PROPOSED DRAINAGE AREA MAP

FIRST NATIONAL BANK OF BASTROP
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20
DRAWING NO. _____
SHEET 7 OF 14



- NOTES:
1. RAILING IS TO BE VERTICABLE® ALUMINUM RAILING BY DIGGER SPECIALTIES INC. WITH BLACK FINE TEXTURE FINISH AND UTILIZE 2\"/>
 - 2. HANDRAILS ARE TO BE WESTBURY® ALUMINUM ADA CONTINUOUS HANDRAILS BY DIGGER SPECIALTIES INC. OF BLACK FINE TEXTURE FINISH WITH PROPER FITTINGS AND ATTACHMENTS.
 - 3. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
 - 4. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
 - 5. ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
 - 6. ALL PARKING AND PAVED SURFACE COURSES ARE TO BE HOT MIX ASPHALT CONCRETE (HMAC) UNLESS NOTED OTHERWISE.
 - 7. SIGNAGE WILL REQUIRE SEPARATE SIGN PERMIT.

PARKING PROVIDED	
Standard	13
Compact	0
Car Share	0
(Charging Station) Electric Vehicle	0
Accessible	1
Total:	14
Accessible Spaces Required:	1
Bicycle Spaces Provided:	6

First National Bank of Bastrop	Lot Area (a.c.)	Zoning	Open Space Area		Civic Space Prop. (d, %)	Building Height Prop. (ft)	Bldg. Area (sf)	Building Coverage Prop. (%)	Impervious Cover	
			Prop. (sf)	Prop. (%)					Ex. (%)	Prop. (%)
Commercial - Bank	0.588	P-5 (CORE)	7,581	30%	N/A	20.67'	2,150	8%	69%	68%

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL J. VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

03/15/2021

Southwest Engineers

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336

WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

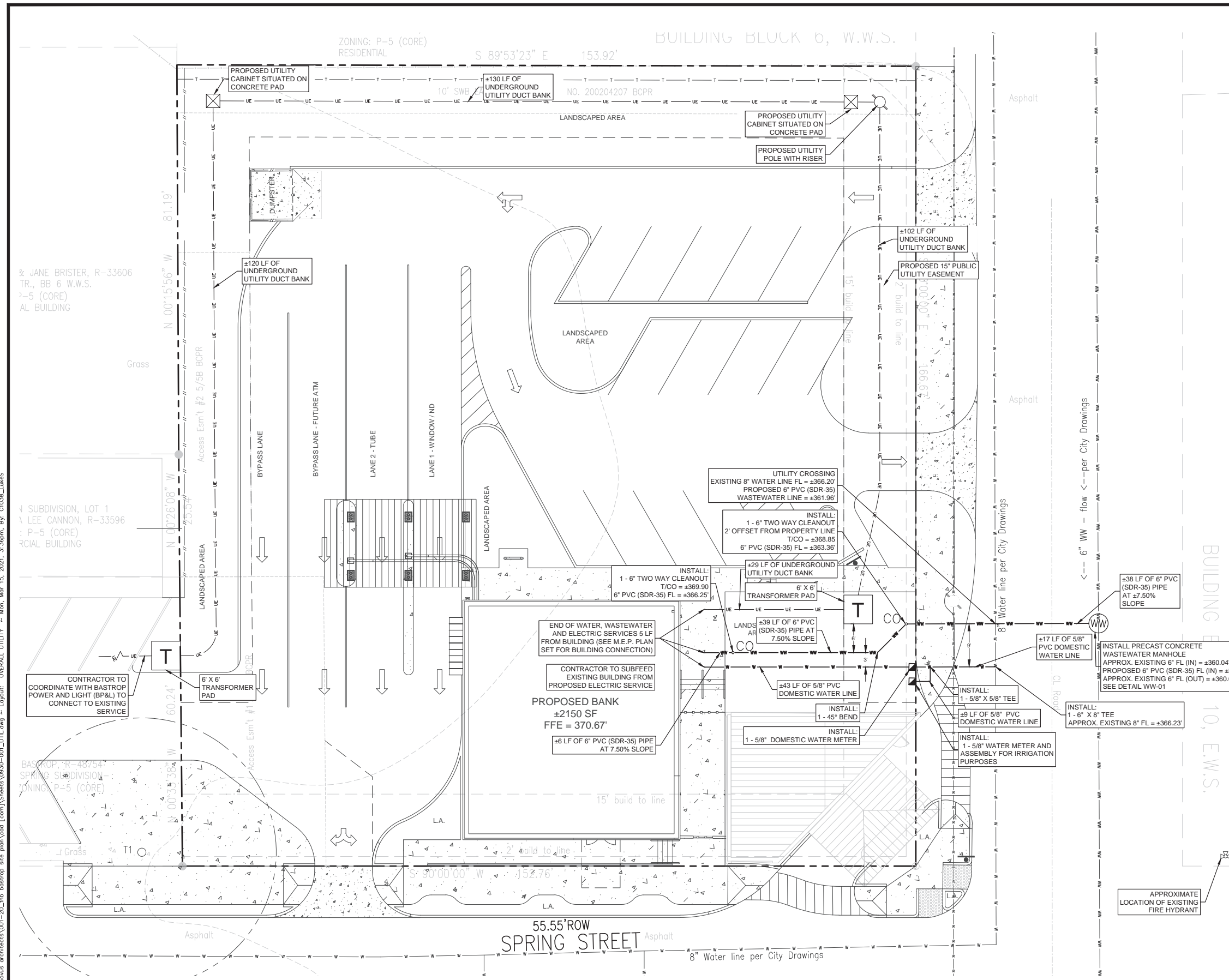
DRAWN BY: LS
CHECKED BY: PV

SITE & DIMENSION CONTROL PLAN

FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20
DRAWING NO. _____
SHEET 8 OF 23

O:\Vompano\clients\0930 - novus architects\0930-001 SITE.dwg ~ Layout: "SITE" ~ Mon, Mar 15, 2021, 3:36pm, By: C1038_Lukas



LEGEND

- W — W — W — EXISTING WATER LINE
- W — W — W — PROPOSED WATER LINE
- WW — WW — WW — EXISTING WASTEWATER LINE
- WW — WW — WW — PROPOSED WASTEWATER LINE
- SD — SD — SD — EXISTING STORM DRAIN LINE
- SD — SD — SD — PROPOSED STORM DRAIN LINE
- G — G — G — EXISTING GAS LINE
- OE — OE — OE — EXISTING OVERHEAD ELECTRIC LINE
- UE — UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- UE — UE — UE — PROPOSED UNDERGROUND ELECTRIC LINE
- T — T — T — EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- (WW) EXISTING WASTEWATER MANHOLE
- (WW) PROPOSED WASTEWATER MANHOLE
- (E) EXISTING ELECTRIC MANHOLE
- (T) EXISTING TELEPHONE MANHOLE
- EXISTING LIGHT POLE
- EXISTING LIGHT POLE W/ARM
- EXISTING UTILITY POLE
- EXISTING SIGN

- NOTES:**
- BASTROP POWER AND LIGHT (BP&L) TO INSTALL PROPOSED TRANSFORMERS, PADS, UTILITY CABINETS, AND UNDERGROUND UTILITY DUCT BANKS BETWEEN PROPOSED TRANSFORMERS.
 - CONTRACTOR TO ENSURE PROPER COMPACTION OF SUBGRADE BACKFILL AT UNDERGROUND UTILITY DUCT BANK CROSSINGS WITH PROPOSED DRIVEWAYS.
 - UNDERGROUND MAINS SUPPLYING NFPA 13 AND NFPA 13R SPRINKLER SYSTEMS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13 AND THE FIRE CODE, BY A LICENSED SPRINKLER CONTRACTOR HOLDING A SCR-U REGISTRATION THROUGH THE STATE FIRE MARSHAL'S OFFICE. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
 - UNDERGROUND MAINS SUPPLYING PRIVATE HYDRANTS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 24 AND THE FIRE CODE, BY A LICENSED SPRINKLER CONTRACTOR HOLDING A SCR-U REGISTRATION THROUGH THE STATE FIRE MARSHAL'S OFFICE. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.

TRENCH SAFETY SYSTEM PLAN:

- TRENCH SAFETY SYSTEM**
 SYSTEM FOR INSURING SAFE WORKING CONDITIONS IN TRENCHES SHALL BE ONE OF THE FOLLOWING TYPES, DEPENDENT ON DEPTH; SLOPING THE SIDES OF THE EXCAVATION, TRENCH BOX OR AN ALTERNATE SYSTEM SUBMITTED BY THE CONTRACTOR. TRENCH DEPTH IS THE DEPTH FROM NATURAL GROUND TO THE BOTTOM OF THE EXCAVATION, I.E. BELOW THE INITIAL EMBEDMENT MATERIAL. ALTERNATES PROPOSED BY THE CONTRACTOR TO THE SYSTEM DESCRIBED BELOW SHALL BE DESIGNED AND CERTIFIED BY A TEXAS REGISTERED PROFESSIONAL ENGINEER.

 FOR ALL TRENCH DEPTHS OVER 5 FEET BUT NOT MORE THAN 10 FEET DEEP, EITHER A TRENCH BOX FOR THE ENTIRE HEIGHT OF THE TRENCH MAY BE USED OR A VERTICAL WALLED SUB-TRENCH NO MORE THAN FOUR FEET HIGH MAY BE EXCAVATED AND THE TRENCH ABOVE FOUR FEET SHALL BE SLOPED, A SLOPE WHICH MEETS THE OSHA REGULATIONS, DEPENDENT ON SOIL TYPE.

 FOR ALL TRENCH DEPTHS OVER 10 FEET DEEP, A TRENCH BOX OR OTHER APPROVED TRENCH SAFETY SYSTEM SHALL BE USED. THE TRENCH BOX SHALL EXTEND TO THE SURFACE OF NATURAL GROUND, OR A MINIMUM OF 8 FEET ABOVE THE BOTTOM OF THE TRENCH, PROVIDED THAT THE TRENCH ABOVE THE TRENCH BOX IS BENCHED AS DESCRIBED ABOVE.
- TRENCH BOX**
 THE TRENCH BOX SHALL BE PLACED AND MOVED SO THAT THE PIPE JOINTS AND BEDDING ARE NOT DISTURBED. THE TRENCH BOX MAY BE PLACED UP TO TWO FEET ABOVE THE INITIAL EMBEDMENT MATERIAL TO AVOID DISTURBING THE BEDDING. ANY VOIDS LEFT IN THE EMBEDMENT MATERIAL BY TRENCH BOX MOVEMENT REMOVAL SHALL BE CAREFULLY FILLED WITH GRANULAR MATERIAL WHICH IS ADEQUATELY COMPACTED. REMOVAL OF THE TRENCH BOX SHALL ONLY BE DONE WHEN BACKFILLING PROCEEDS AND REMOVAL SHALL BE DONE IN A MANNER THAT DOES NOT RELAX TRENCH SUPPORT.

 PRIOR TO INSTALLATION OF PIPE IN ANY TRENCH THAT IS 5'-0" DEEP FOR WHICH A TRENCH BOX IS REQUIRED, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER INFORMATION DEMONSTRATING THE ADEQUACY OF THE TRENCH BOX PROPOSED TO BE USED.

 THE CONTRACTOR SHALL ALLOW TEN DAYS FOR THE ACCEPTANCE OF THIS SUBMITTAL BY THE ENGINEER.

 THE SUBMITTAL SHALL INCLUDE A GENERAL DESCRIPTION OF THE TRENCH BOX OR BOXES WITH DIMENSIONS AND CAPACITIES AND IN WHAT MANNER THAT THEY WILL BE USED. THE INFORMATION SHALL INCLUDE THE RATING OF THE TRENCH BOX IN POUNDS PER SQUARE FOOT OF LATERAL EARTH PRESSURE WHICH THE BOX CAN RESIST AND THE DEPTH AT WHICH THE BOX CAN BE USED THE RATING INFORMATION SHALL HAVE BEEN PREPARED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS.

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PAUL J. VIKTORIN
 LICENSED PROFESSIONAL ENGINEER
 66879
 03/15/2021

Southwest Engineers
 TBPE NO. F-1909
 www.swengineers.com

HEADQUARTERS
 307 Saint Lawrence Street, Gonzales TX 78629
 P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
 205 Cimarron Park Loop, Ste. B, Buda TX 78610
 P: 512.312.4336

WARNING
 IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

UTILITY PLAN

FIRST NATIONAL BANK OF BASTROP
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. _____

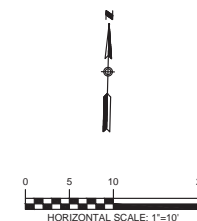
SHEET 9 OF 23

O:\compendata\Clients\0930 - novus architects\001-20_fb bastrop site plan.dwg [com] Sheets\0930-001-20_fb bastrop site plan.dwg ~ Layout: "OVERALL UTILITY" ~ Mon, Mar 15, 2021, 3:36pm, Bx: C1038_Lukas

CURTIS G McDONALD, R-45731; 0.3230 AC.TR BB 6 W.W.S.
ZONING: P-5 (CORE)

ALICE GUTIERREZ, R-33617
0.289 AC.TR. BB 6, W.W.S.
ZONING: P-5 (CORE)
RESIDENTIAL

BUILDING BLOCK 6, W.W.S.

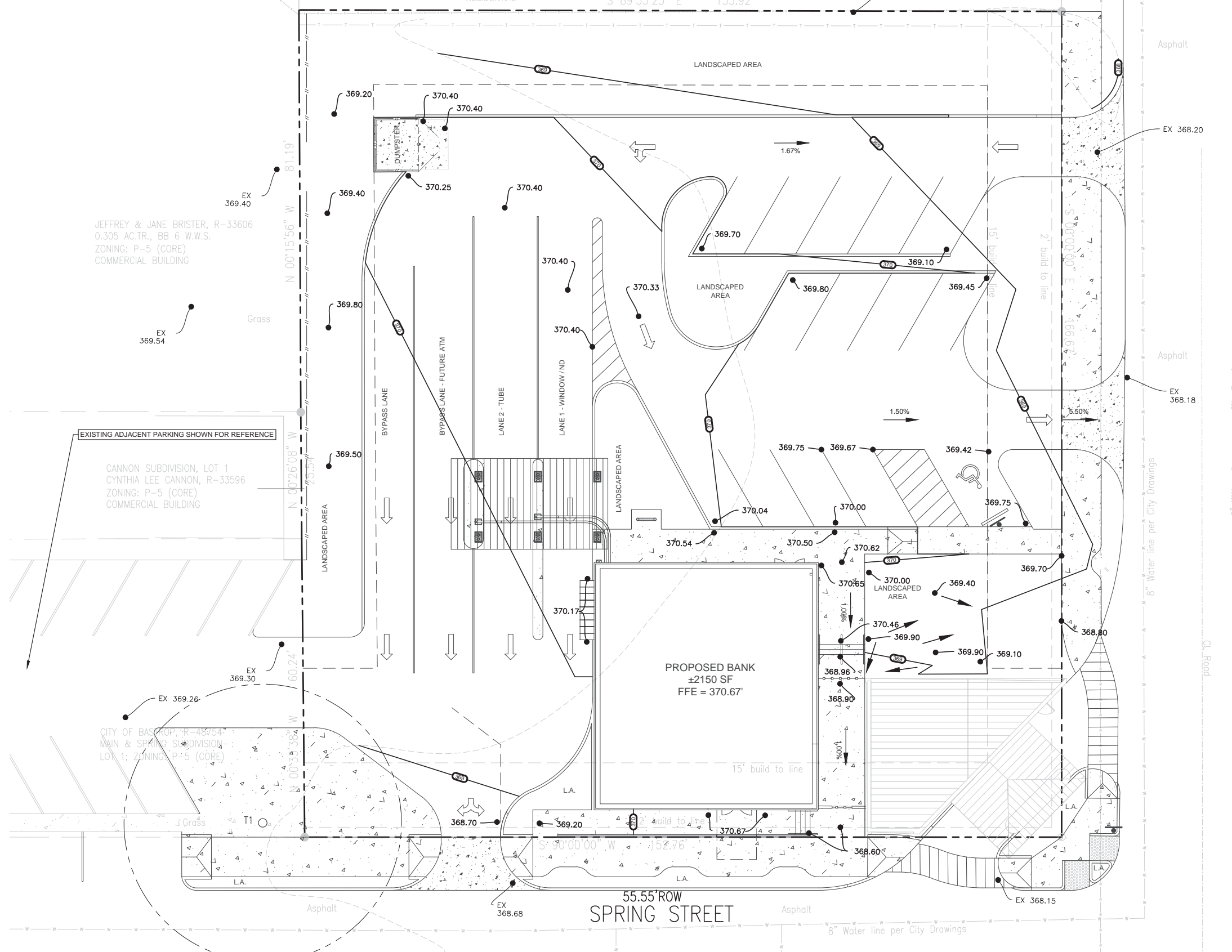


LEGEND
 --- 700 --- EXISTING CONTOURS
 --- 700 --- PROPOSED CONTOURS
 ● 700.00 SPOT ELEVATION

NOTES:

- 1) ALL ELEVATIONS SHOWN ARE MEASURED AT FINAL GRADE, AFTER TOPSOIL PLACEMENT AND/OR REVEGETATION REQUIREMENTS PER CITY OF BASTROP STANDARD SPECIFICATIONS.

O:\compendata\Clients\0930 - novus architects\001-20_fnb bastrop site plan\lead [com]\Sheets\0930-001_GRAD.dwg ~ Mon, Mar 15, 2021, 3:36pm, By: C1038_Luke



NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Southwest Engineers
 TBPE NO. F-1909
 www.swengineers.com

HEADQUARTERS
 307 Saint Lawrence Street, Gonzales TX 78629
 P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
 205 Cimarron Park Loop, Ste. B, Buda TX 78610
 P: 512.312.4336

WARNING
 IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

GRADING PLAN

FIRST NATIONAL BANK OF BASTROP
 714 SPRING STREET, BASTROP, TX 78602

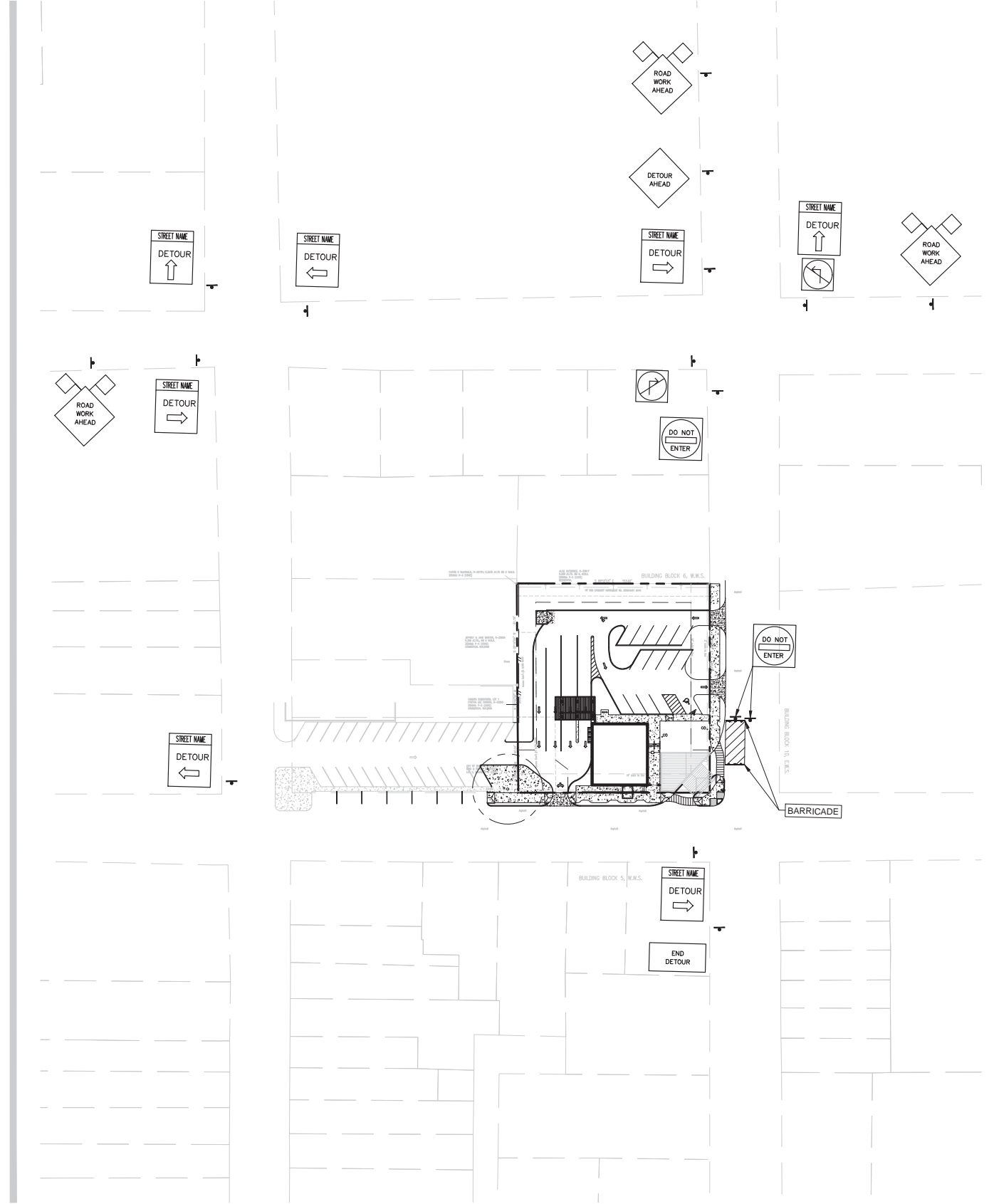
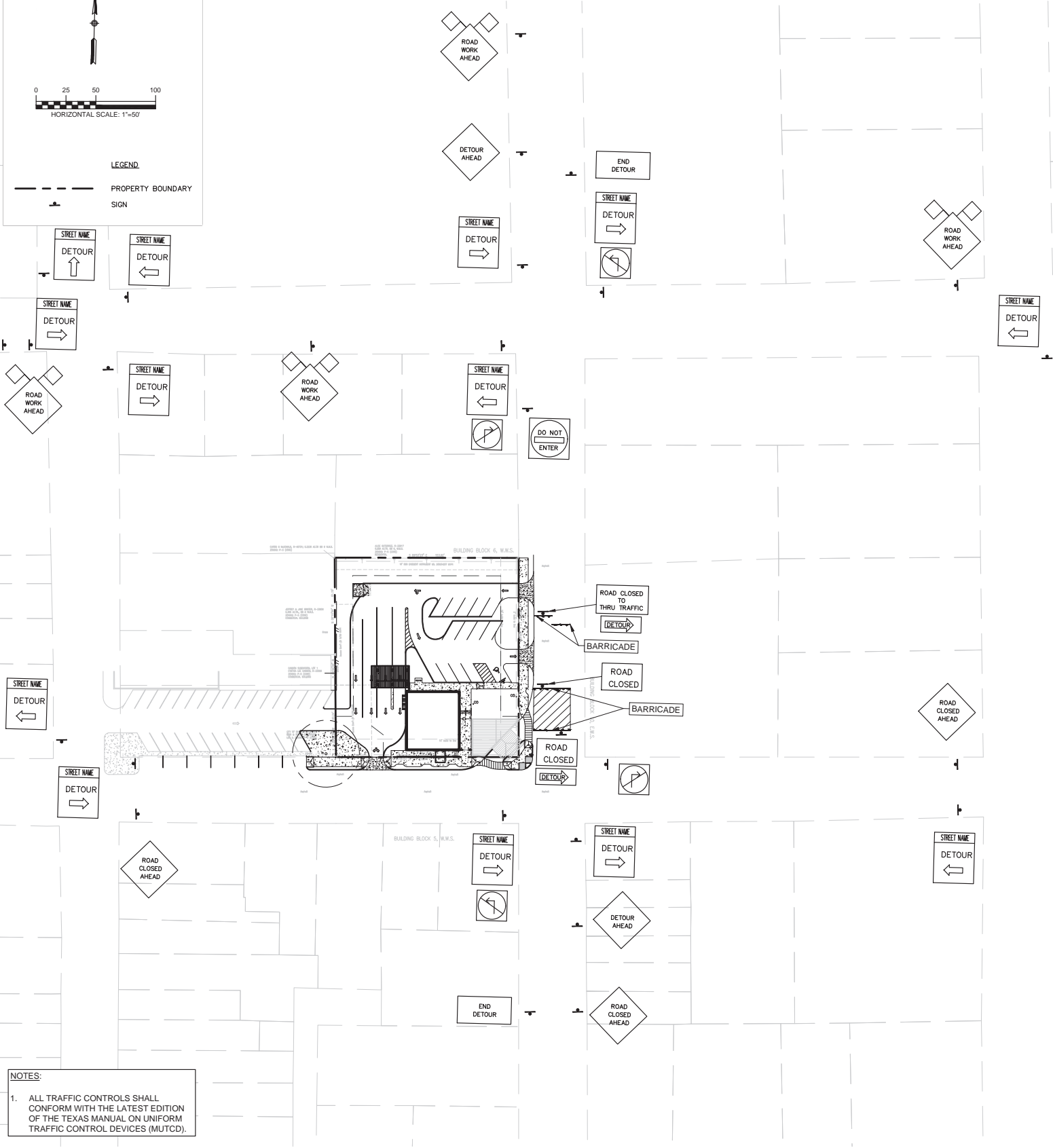
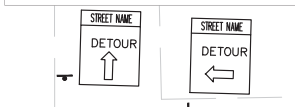
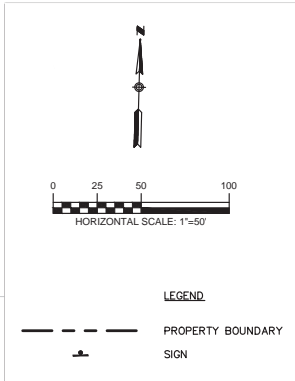
PROJECT NO. 0930-001-20

DRAWING NO. _____

SHEET 10 OF 23

STREET DETOUR FOR BOTH DIRECTIONS

STREET DETOUR FOR SINGLE DIRECTION



NOTES:
 1. ALL TRAFFIC CONTROLS SHALL CONFORM WITH THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

O:\CompanyData\Clients\0930 - novus architects\01-20_frb bastrop site plan\lead [com]\Traffic Control.dwg - Mon, Mar 15, 2021, 3:36pm, By: C1038B_Lukas

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Southwest Engineers
 TBPE NO. F-1909
 www.swengineers.com

HEADQUARTERS
 307 Saint Lawrence Street, Gonzales TX 78629
 P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
 205 Cimarron Park Loop, Ste. B, Buda TX 78610
 P: 512.312.4336

WARNING
 IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

TRAFFIC CONTROL PLAN

FIRST NATIONAL BANK OF BASTROP
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. _____

SHEET 11 OF 23

0:\Vompaniodata\Clients\0930 - newus architects\0930-001_Site.dwg ~ Mon, Mar 15, 2021, 3:37pm, By: C1036_Lukes

The drawing contains 48 individual technical details, each with a title block and notes. The details include:

- Sidewalk Detail:** Shows cross-sections of sidewalk with expansion joints and reinforcement.
- Concrete Driveway Detail:** Shows driveway with expansion joints and reinforcement.
- Spill and Catch Curb Detail:** Shows curb with expansion joints and reinforcement.
- Latrine and Ribon Curb Detail:** Shows curb with expansion joints and reinforcement.
- Concrete Valley Gutter Detail:** Shows gutter with expansion joints and reinforcement.
- Waterline Bedding and Pavement Repair Detail:** Shows bedding for waterlines and pavement repair.
- Water Service Detail:** Shows water service line with clean-out and manhole.
- Wastewater Clean-Out Detail:** Shows clean-out with manhole and vent.
- Wastewater Line Bedding and Surface Repair Detail:** Shows bedding for wastewater lines and surface repair.
- Manhole Details:** Shows various manhole types including precast concrete, non-bolted, and flexible seal boot.
- Water Service Casing Detail:** Shows casing for water service lines.
- Silt Fence Detail:** Shows silt fence with fabric and posts.
- Tree Protection Notes:** Provides guidelines for protecting trees during construction.
- Tree Protection Fence - Chain Link:** Shows chain link fence for tree protection.
- Tree Protection Fence Locations:** Shows locations for tree protection fences.
- Water Service Casing Detail:** Shows casing for water service lines.
- Water Service Casing Detail:** Shows casing for water service lines.
- Sidewalk Pedestrian Ramp Detail:** Shows ramp for sidewalk pedestrian access.

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL J. VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

STATE OF TEXAS
PAUL J. VIKTORIN
66879
LICENSED PROFESSIONAL ENGINEER

03/15/2021

HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336

www.swengineers.com

WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

SITE DETAILS

FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. _____

SHEET 12 OF 23

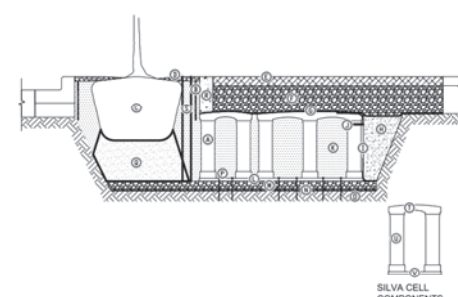
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
	BL	3	Bauhinia lunarioides Anacacho Orchid Tree	2" Cal.	Cont.	6'-8' HT
	QS	6	Quercus shumardii Shumard Red Oak	3" Cal.	Cont.	12'-14' HT
	UC	4	Ulmus crassifolia Cedar Elm	3" Cal.	Cont.	12'-14' HT
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
	US	1	Ungnadia speciosa Mexican Buckeye	2" Cal.	Cont.	6'-8' HT
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	JB2	9	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	3 gal	36" OC	24" MIN
	LF	50	Leucophyllum frutescens Texas Sage	5 GAL	36" OC	24" MIN
	MC	6	Myrica cerifera Wax Myrtle	5 GAL	5" OC	24" MIN
	PM	49	Pittosporum tobira variegata Variegated Pittosporum	3 GAL	36" OC	24" MIN
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CL	12	Callistemon citrinus 'Little John' Dwarf Bottle Brush	7 gal	15-18"	36" OC
	RS	18	Raphiolepis indica 'Snow White' Snow White Indian Hawthorn	3 GAL	15-18"	30" OC
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	LA	163	Liriope muscari 'Aztec' Aztec Lily Turf	1 GAL		12" OC
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CDS	1,553 sf	Cynodon dactylon 'Tif 419' Bermuda Grass Sod	SOD		

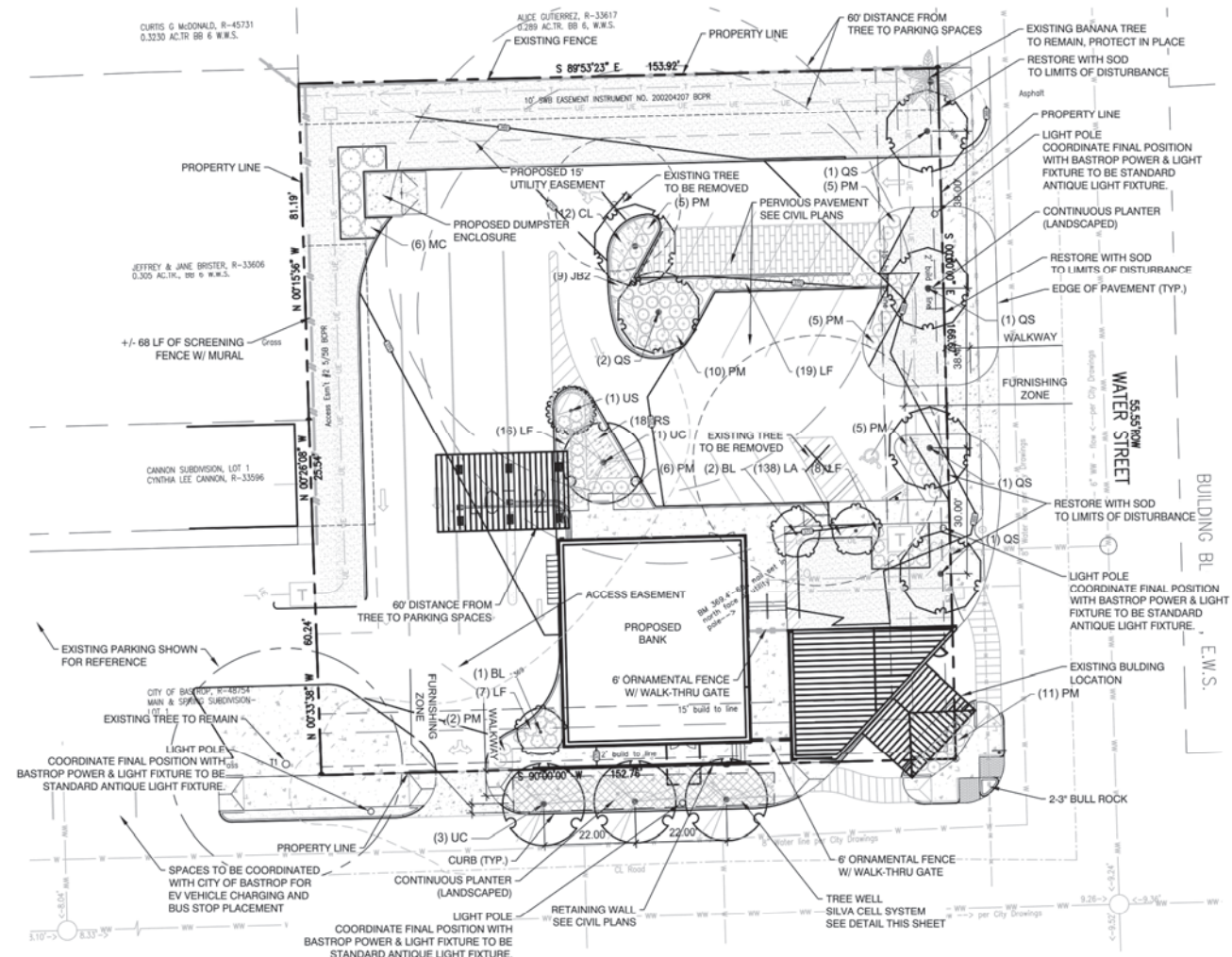
LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	25,579 SF
STREET YARD AREA:	314 SF (ALONG WATER STREET)
LANDSCAPE AREA REQUIRED:	47 SF (15% OF STREET YARD)
LANDSCAPE AREA PROVIDED:	629 SF (PROVIDED IN ROW DUE TO SITE CONSTRAINT)
STREET TREES	
SPRING STREET:	152 LF
STREET TREES REQUIRED:	4 TREES (1 PER 40 LF OF FRONTAGE)
STREET TREES PROVIDED:	4 TREES
WATER STREET:	
STREET TREES REQUIRED:	166 LF
STREET TREES PROVIDED:	4 TREES (1 PER 40 LF OF FRONTAGE)
	3 TREES DUE TO PROPOSED UTILITY POLE CONFLICT
PARKING TREES	
TREES REQUIRED IN PARKING AREAS:	2 TREES (1 PER 10 SPACES, 14 SPACES TOTAL)
TREES PROVIDED IN PARKING AREAS:	2 TREES
TREES AT TERMINUS OF ISLANDS:	
ALL SPACES WITHIN 60' OF A TREE:	PROVIDED
	PROVIDED

- KEY PLAN**
- 1. SILVA CELL SYSTEM (DECK, BAIL, AND POST)
 - 2. DEEPER ROOT BARRIER DEPTH PER PROJECT SPECIFICATIONS, PREVENTS ROOTS FROM DISTURBING PLANTING
 - 3. TREE ROOT PROTECTION, SEE NOTES
 - 4. 1/2" WALKS PLACED IN TREE OPENING
 - 5. SURFACE TREATMENT PER PROJECT
 - 6. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT
 - 7. GEOTEXTILE TO KEEP AGGREGATE FROM MIXING DOWN THROUGH CELL DECK
 - 8. BACKFILL PER PROJECT SPECIFICATIONS
 - 9. (REQUIRED TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO BACKFILL SOILS IF THE OUTWARD FROM BASE AND 12" EXCESS OVER TOP OF DECK)
 - 10. 1/2" WALKS PLACED IN TREE OPENING
 - 11. PLANTING SOIL PER PROJECT SPECIFICATIONS, COMPACTED TO 95% PROCTOR
 - 12. 1" SPACING BETWEEN SILVA CELLS AT BASE
 - 13. 1/2" WALKS PLACED IN TREE OPENING
 - 14. 1/2" WALKS PLACED IN TREE OPENING
 - 15. 1/2" WALKS PLACED IN TREE OPENING
 - 16. 1/2" WALKS PLACED IN TREE OPENING
 - 17. SILVA CELL DECK
 - 18. SILVA CELL POST
 - 19. SILVA CELL BAIL



SILVA CELLS SYSTEM - SECTION
SCALE: NOT TO SCALE



ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

NOTES:

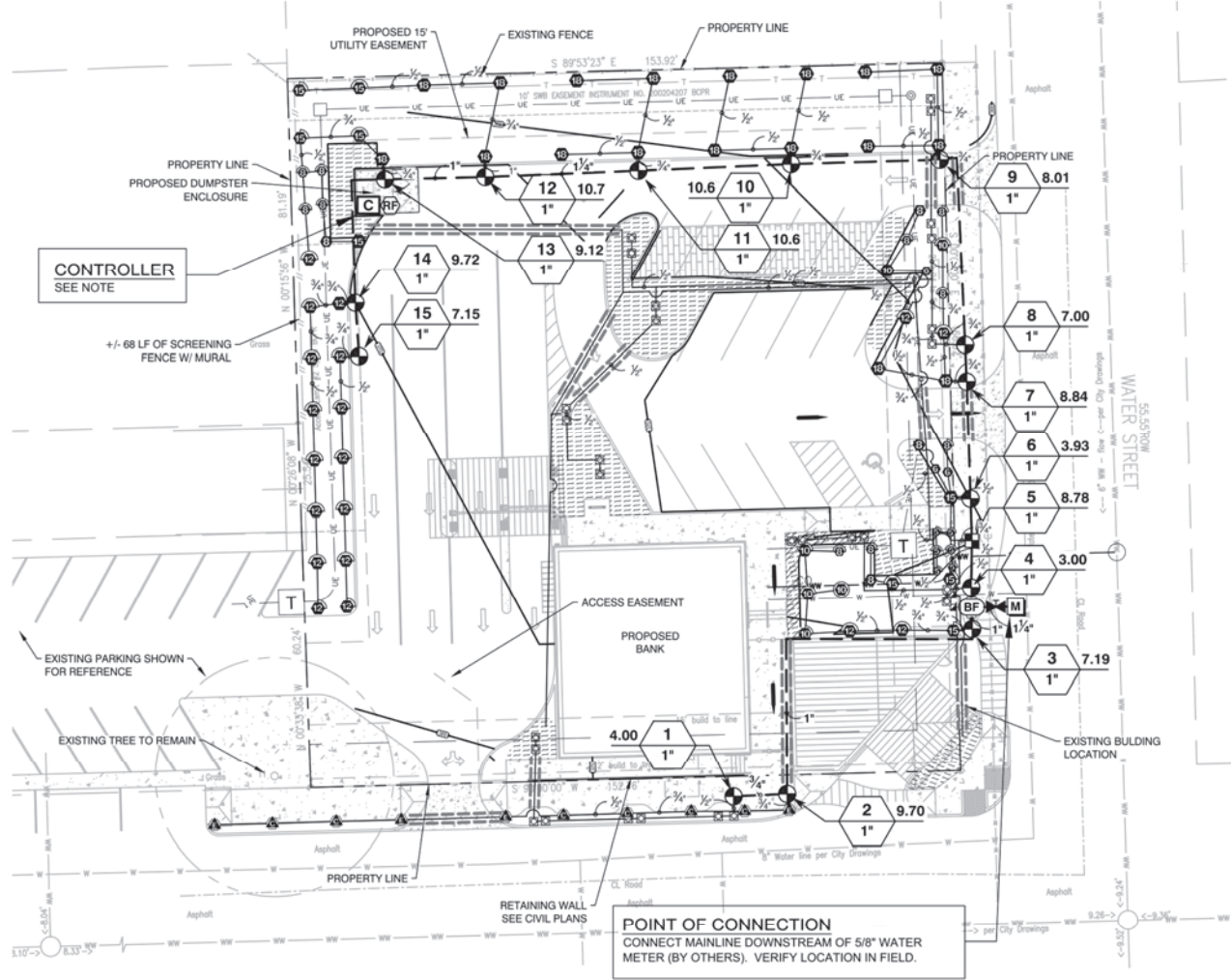
IRRIGATION PLANS REQUIRE SEPARATE PERMITS - APPROVAL OF SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY INCLUDED IRRIGATION PLANS OR ELEMENTS OF THE LANDSCAPE PLAN

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



SLEEVING / WIRING NOTES:
IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

IRRIGATION DISCLAIMER
THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

CONTROLLER NOTE
LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.
120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
EST LCS RCS CST SST	Rain Bird 1806 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	10	30
Q H F	Rain Bird 1806 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	6	30
Q T H F	Rain Bird 1806 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	10	30
Q T H F	Rain Bird 1806 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	5	30
Q T H TO	Rain Bird 1806 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	18	30
Q T H TO	Rain Bird 1806 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	7	30
4V 6V 10V	Rain Bird 1806 ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	21	30
10HE-VAN 10HE-VAN	Rain Bird 1806 HE-VAN Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	8	30
1401 1402 1404 1408	Rain Bird 1806-1400 Flood 1401 Flood Bubbler 6.0" pop-up	28	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3gpm to 20gpm.	1
■	Area to Receive Dripline Rain Bird XFS-06-18 (18) XFS Sub-Surface Pressure Compensating Dripline w/Copper Shield Technology, 0.6GPH emitters at 18.0" O.C. Laterals spaced at 18.0" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	1,868 s.f.

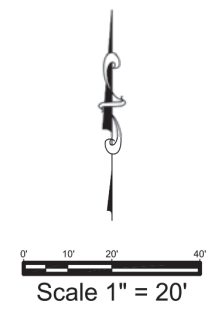
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊕	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	14
⊕	Nibco Ball Valve - Brass, Two Piece, Full Port, NPT x NPT, T-FP-600A	1
BF	Febco 825Y 3/4" Reduced Pressure Backflow Preventer	1
C	Rain Bird ESP12LXMEF with (01) ESPLXMSM12 24 Station Commercial Controller, Plastic Wall Mount, Flow Sensing.	1
RF	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter.	1
M	Water Meter 5/8"	1
---	Irrigation Lateral Line: PVC Class 200 SDR 21	1,616 l.f.
---	Irrigation Mainline: PVC Schedule 40	400.4 l.f.
---	Pipe Sleeve: PVC Schedule 40	229.0 l.f.

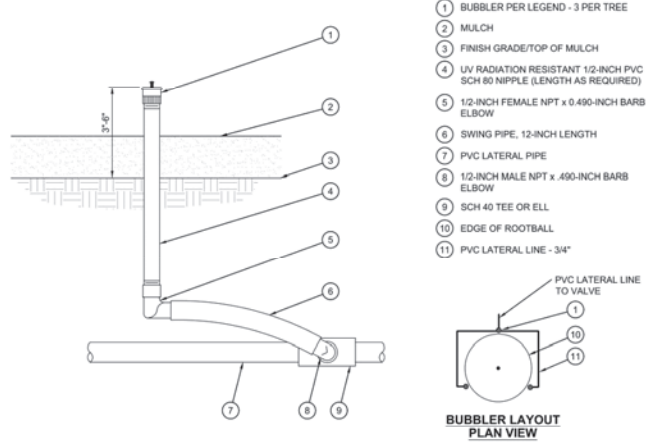
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1"	Bubbler	4.00	32.55	45.25	2.11 in/h
2	Rain Bird PEB	1"	Turf Spray	9.70	35.87	54.2	1.91 in/h
3	Rain Bird PEB	1"	Turf Spray	7.19	33.43	47.82	1.07 in/h
4	Rain Bird PEB	1"	Bubbler	3.00	31.99	43.54	2.16 in/h
5	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	8.78	40.18	55.57	0.45 in/h
6	Rain Bird PEB	1"	Turf Spray	3.93	31.82	43.85	1.19 in/h
7	Rain Bird PEB	1"	Turf Spray	8.84	33.55	49.21	1.63 in/h
8	Rain Bird PEB	1"	Bubbler	7.00	35.03	49.44	2.04 in/h
9	Rain Bird PEB	1"	Turf Spray	8.01	32.87	48.16	1.06 in/h
10	Rain Bird PEB	1"	Turf Spray	10.60	33.41	51.26	0.94 in/h
11	Rain Bird PEB	1"	Turf Spray	10.60	33.56	51.71	0.95 in/h
12	Rain Bird PEB	1"	Turf Spray	10.75	34.04	52.66	0.89 in/h
13	Rain Bird PEB	1"	Turf Spray	9.12	33.08	50.54	0.95 in/h
14	Rain Bird PEB	1"	Turf Spray	9.72	34.38	53.5	0.94 in/h
15	Rain Bird PEB	1"	Turf Spray	7.15	33.63	49.88	0.85 in/h

CRITICAL ANALYSIS

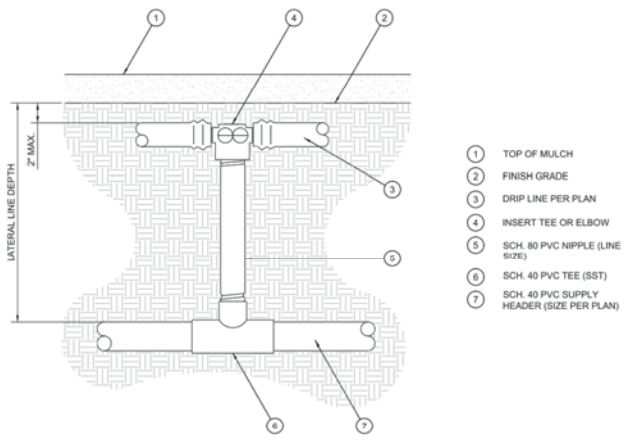
Generated: 2021-03-01 10:02
P.O.C. NUMBER: 01
Water Source Information:
FLOW AVAILABLE
Water Meter Size: 5/8"
Flow Available: 12.06 gpm
PRESSURE AVAILABLE
Static Pressure at POC: 60.00 psi
Elevation Change: 5.00 ft
Service Line Size: 3/4"
Length of Service Line: 10.00 ft
Pressure Available: 57.00 psi
DESIGN ANALYSIS
Maximum Station Flow: 10.75 gpm
Flow Available at POC: 12.06 gpm
Residual Flow Available: 1.31 gpm
Critical Station: 5
Design Pressure: 30.00 psi
Friction Loss: 3.35 psi
Fittings Loss: 0.33 psi
Elevation Loss: 0.00 psi
Loss through Valve: 6.49 psi
Pressure Req. at Critical Station: 40.17 psi
Loss for Fittings: 0.01 psi
Loss for Main Line: 0.14 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 12.40 psi
Loss for Water Meter: 2.85 psi
Critical Station Pressure at POC: 55.57 psi
Pressure Available: 57.00 psi
Residual Pressure Available: 1.43 psi





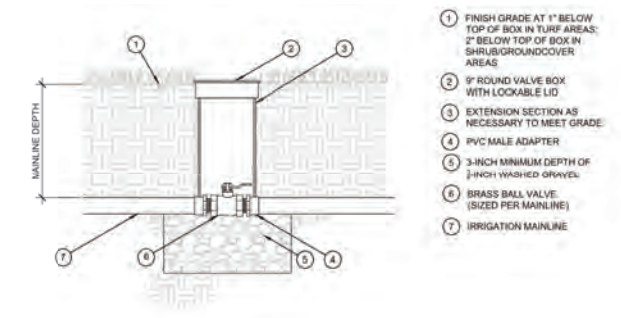
- 1 BUBBLER PER LEGEND - 3 PER TREE
- 2 MULCH
- 3 FINISH GRADE/TOP OF MULCH
- 4 UV RADIATION RESISTANT 1/2-INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 5 1/2-INCH FEMALE NPT x 0.490-INCH BARB ELBOW
- 6 SWING PIPE, 12-INCH LENGTH
- 7 PVC LATERAL PIPE
- 8 1/2-INCH MALE NPT x .490-INCH BARB ELBOW
- 9 SCH 40 TEE OR ELL
- 10 EDGE OF ROOTBALL
- 11 PVC LATERAL LINE - 3/4"

L BUBBLER
SCALE: NTS



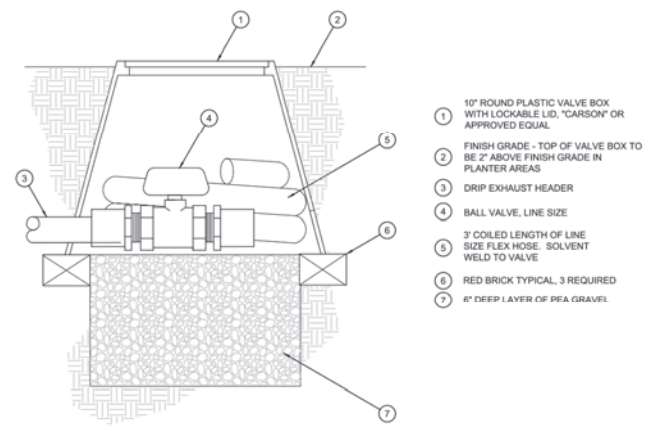
- 1 TOP OF MULCH
- 2 FINISH GRADE
- 3 DRIP LINE PER PLAN
- 4 INSERT TEE OR ELBOW
- 5 SCH. 80 PVC NIPPLE (LINE SIZE)
- 6 SCH. 40 PVC TEE (SST)
- 7 SCH. 40 PVC SUPPLY HEADER (SIZE PER PLAN)

I SUBSURFACE DRIPLINE CONNECTION
SCALE: NOT TO SCALE



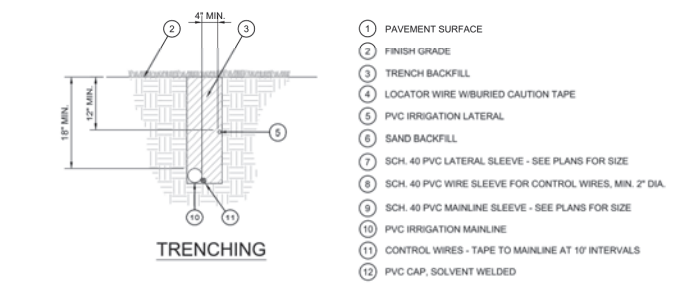
- 1 FINISH GRADE AT 1" BELOW TOP OF BOX IN TURF AREAS; 2" BELOW TOP OF BOX IN SHRUB/GROUND COVER AREAS
- 2 9" ROUND VALVE BOX WITH LOCKABLE LID
- 3 EXTENSION SECTION AS NECESSARY TO MEET GRADE
- 4 PVC MALE ADAPTER
- 5 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 6 BRASS BALL VALVE (SIZED PER MAINLINE)
- 7 IRRIGATION MAINLINE

F BRASS BALL VALVE
SCALE: NTS

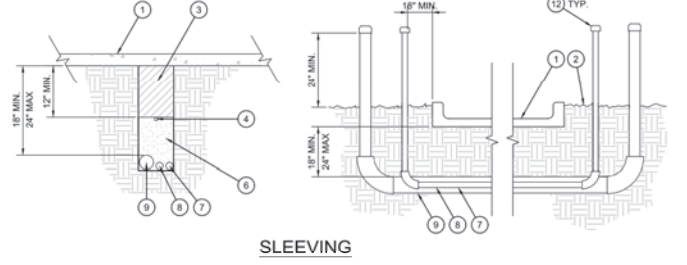


- 1 10" ROUND PLASTIC VALVE BOX WITH LOCKABLE LID, "CARSON" OR APPROVED EQUAL
- 2 FINISH GRADE - TOP OF VALVE BOX TO BE 2" ABOVE FINISH GRADE IN PLANTER AREAS
- 3 DRIP EXHAUST HEADER
- 4 BALL VALVE, LINE SIZE
- 5 3' COILED LENGTH OF LINE SIZE FLEX HOSE. SOLVENT WELD TO VALVE
- 6 RED BRICK TYPICAL, 3 REQUIRED
- 7 4" DEEP LAYER OF PFA GRAVEL

J FLUSH VALVE
SCALE: NTS



- 1 PAVEMENT SURFACE
- 2 FINISH GRADE
- 3 TRENCH BACKFILL
- 4 LOCATOR WIRE WBURIED CAUTION TAPE
- 5 PVC IRRIGATION LATERAL
- 6 SAND BACKFILL
- 7 SCH. 40 PVC LATERAL SLEEVE - SEE PLANS FOR SIZE
- 8 SCH. 40 PVC WIRE SLEEVE FOR CONTROL WIRES, MIN. 2" DIA.
- 9 SCH. 40 PVC MAINLINE SLEEVE - SEE PLANS FOR SIZE
- 10 PVC IRRIGATION MAINLINE
- 11 CONTROL WIRES - TAPE TO MAINLINE AT 10' INTERVALS
- 12 PVC CAP, SOLVENT WELDED

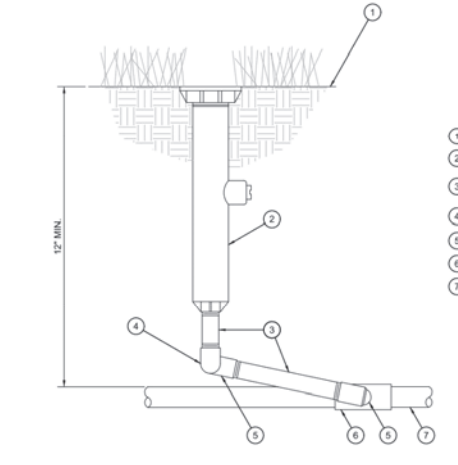


- 1 FLUSH VALVE
- 2 SCH. 40 PVC EXHAUST HEADER
- 3 SCH. 40 PVC TEE OR ELL
- 4 COMPRESSION ADAPTER
- 5 DRIP LINE
- 6 AIR RELIEF VALVE AT HIGH POINT OF SYSTEM (WHEN INDICATED ON PLANS)
- 7 SCH. 40 PVC SUPPLY HEADER
- 8 CONTROL VALVE
- 9 TREE ROOT BALL (WHERE OCCURS IN DRIP AREA)
- 10 RAINBIRD PC-07 EMITTERS (3) DR EQUAL, WITH DIFFUSER CAPS, INSERTED IN DRIP LINE AND GENERALLY SPACED EVENLY AROUND TREE NEAR EDGES OF ROOT BALL (WHERE OCCURS)

NOTE: SET DRIP LINES 3"-6" AWAY FROM HARDSCAPE

G PIPE AND SLEEVE INSTALLATION
SCALE: NTS

H SUBSURFACE DRIP LINE LAYOUT
SCALE: NOT TO SCALE



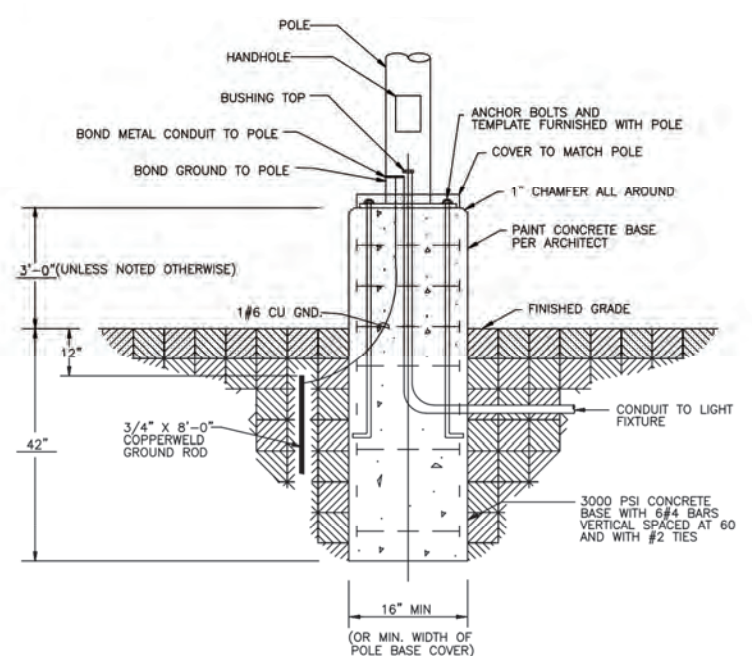
- 1 FINISH GRADE
- 2 POP-UP SPRAY HEAD
- 3 SCH. 80 PVC NIPPLE (LENGTH AS REQUIRED)
- 4 SCH. 40 PVC ELL
- 5 SCH. 40 PVC STREET ELL
- 6 SCH. 40 PVC TEE OR ELL
- 7 PVC LATERAL PIPE

K POP-UP SPRAY HEAD
SCALE: NTS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2019 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

GENERAL NOTES:

- REPLACEMENT LIGHT BULBS, AT CASH STATION, CANNOT EXCEED 3000K IN TEMPERATURE.
- KEYNOTES:**
- APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER. COORDINATE LOCATION WITH CIVIL/LOCAL UTILITY COMPANY PRIOR TO ROUGH-IN.
 - SECONDARY CONDUIT AND WIRING PER POWER RISER DIAGRAM, 1/E001.
 - APPROXIMATE LOCATION OF ELECTRICAL DISCONNECT.
 - PROVIDE (2) 4" AND (1) 2" FOR TELEPHONE/CATV SERVICE. COORDINATE EXACT REQUIREMENTS WITH UTILITIES.
 - NOT USED
 - APPROXIMATE LOCATION OF IT ROOM.
 - APPROXIMATE LOCATION OF EXISTING ELECTRICAL DISCONNECT.
 - REFER TO POWER RISER DIAGRAM, 1/E001.
 - PROVIDE (3) 4" SCHEDULE 40 PVC CONDUITS 42" BFG MINIMUM WITH 36" RADIUS ELLS AT TRANSFORMER PAD. COORDINATE EXACT REQUIREMENTS WITH UTILITY.



2 SITE POLE BASE DETAIL
E100
N.T.S.

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MOUNT	VOLTAGE	LAMP QTY	LAMP WATTAGE/TYPE	MANUFACTURER	CATALOG NUMBER	NOTES
3M	SITE POLE LIGHTING; SINGLE HEAD, TYPE 3M DISTRIBUTION WITH HOUSE SHIELD.	POLE 20'-0" AFG	208		70W LED 3000K	LITHONIA LIGHTING	DSX1 LED-P2-30K-T3M-MVOLT-HS	1
3M1	SITE POLE LIGHTING; SINGLE HEAD, TYPE 3M DISTRIBUTION WITH HOUSE SHIELD.	POLE 20'-0" AFG	208		70W LED 3000K	LITHONIA LIGHTING	DSX0 LED-P1-30K-T3M-MVOLT-HS	1
3M-2	SITE POLE LIGHTING; TWIN HEAD, TYPE 3M DISTRIBUTION	POLE 20'-0" AFG	208		108W LED 3000K	LITHONIA LIGHTING	DSX0 LED-P1-30K-T3M-MVOLT	1
4M	SITE POLE LIGHTING; SINGLE HEAD, TYPE 4M DISTRIBUTION	POLE 20'-0" AFG	208		125W LED 3000K	LITHONIA LIGHTING	DSX1 LED-P4-30K-T4M-MVOLT	1

NOTES:
1. REFER TO POLE MOUNTED DETAIL THIS SHEET

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.95 ft²
 Length: 20"
 Width: 12"
 Height H1: 18"
 Height H2: 18"
 Weight (max): 15 lbs

Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information
 EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DOBXO

Code	Color Temperature	Beam Spread	Mounting	Finish	Notes
DSX0 LED	40K	30°	T3M	SP	Standard
P1	40K	30°	T3M	SP	Standard
P2	40K	30°	T3M	SP	Standard
P3	40K	30°	T3M	SP	Standard
P4	40K	30°	T3M	SP	Standard
P5	40K	30°	T3M	SP	Standard
P6	40K	30°	T3M	SP	Standard
P7	40K	30°	T3M	SP	Standard
P8	40K	30°	T3M	SP	Standard
P9	40K	30°	T3M	SP	Standard
P10	40K	30°	T3M	SP	Standard

D-Series Size 1 LED Area Luminaire

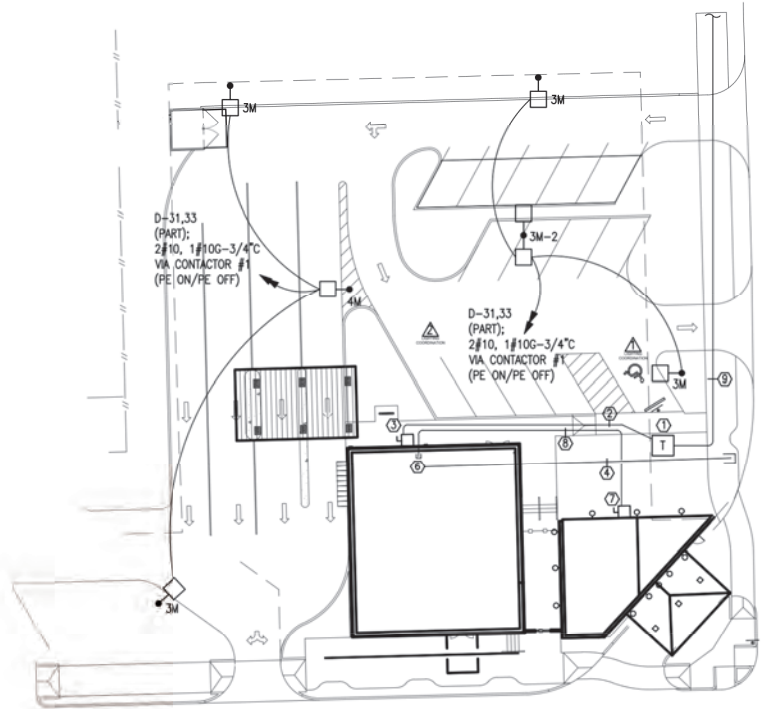
Specifications

EPA: 1.91 ft²
 Length: 27"
 Width: 13"
 Height H1: 18"
 Height H2: 18"
 Weight (max): 21 lbs

Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and arena lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information
 EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DOBXO

Code	Color Temperature	Beam Spread	Mounting	Finish	Notes
DSX1 LED	40K	30°	T3M	SP	Standard
P1	40K	30°	T3M	SP	Standard
P2	40K	30°	T3M	SP	Standard
P3	40K	30°	T3M	SP	Standard
P4	40K	30°	T3M	SP	Standard
P5	40K	30°	T3M	SP	Standard
P6	40K	30°	T3M	SP	Standard
P7	40K	30°	T3M	SP	Standard
P8	40K	30°	T3M	SP	Standard
P9	40K	30°	T3M	SP	Standard
P10	40K	30°	T3M	SP	Standard



1 SITE PLAN
E100
1" = 20'-0"



FNB BASTROP - DOWNTOWN
 BRANCH
 605 SPRING STREET BASTROP TX 78602

REVISIONS:

No.	Description	Date

DRAWN BY: JER
 CHECKED BY: CCE
 DATE: 12/01/20
 NOVUS JOB NUMBER
 2016-5100.41

SHEET NUMBER
E101

CONSTRUCTION DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2019 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

CE
 CHARLES COLLINGS, P.E.
 FBM REGISTRATION # 17182

5525 Interstate N. Flory
 Suite 200
 Atlanta, Ga 30328
 404-242-6340 Tel
 404-601-9859 Fax
 charles@novusarchitects.com
 ce@novusarchitects.com

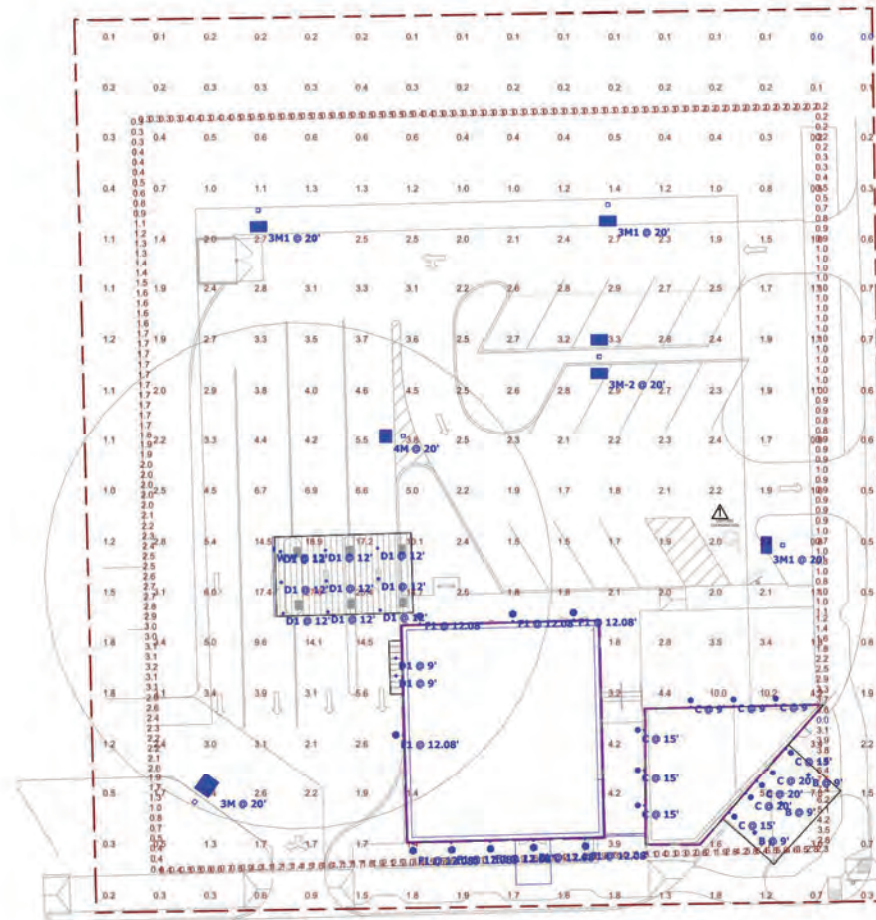


CHARLESTON
 ASHEVILLE
 ATLANTA
 NOVUSARCHITECTS.COM

LEVEL

Think strategically. Build creatively.

2016 POWERS FERRY ROAD, SE
 SUITE 750
 ATLANTA, GA 30339-7208
 (404) 761-0008
 FAX (878) 539-2850



Plan View
 Scale - 1" = 20ft

1 SITE - PHOTOMETRICS PLAN
 E101 1" = 20'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #4	+	2.6 fc	27.6 fc	0.0 fc	N/A	N/A
Property Line	+	1.5 fc	7.5 fc	0.0 fc	N/A	N/A

FIXTURE	QUANTITY	LUMENS	TOTAL	NOTE
D1	0	1,805	0	1
3M	0	6,500	0	1
3M-2	1	3,448	3,448	
4M	0	13,164	0	1
F1	9	1,044	9,396	
WW	1	7,172	7,172	
B	0	5,000	0	1
C	3	5,000	15,000	
C	0	5,000	0	1
3M1	3	3,442	10,326	
		Total Outdoor Light Output	45,342	

NOTE:
 1. Fixture excluded from Total Outdoor Light Output calculations per Texas Finance Code Sec. 59.307 (Standards for Lighting).
 2. 77,112 Lumens/acre

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
○	D1	11	PRESCOLITE	LF6SL-6LFS120L30K8 DL	LiteFrame - Diffuse Lens	36- Philips 3000K LEDs	1	1805	1	21.4
□	3M	1	Lithonia Lighting	DSX1 LED P2 30K T3M MVOLT HS	DSX1 LED P2 30K T3M MVOLT with houseshield	LED	1	6500	1	70
□	3M-2	1	Lithonia Lighting	DSX0 LED P1 30K T3M MVOLT	DSX0 LED P1 30K T3M MVOLT	LED	1	4248	1	76
□	4M	1	Lithonia Lighting	DSX1 LED P4 30K T4M MVOLT	DSX1 LED P4 30K T4M MVOLT	LED	1	13164	1	125
○	F1	9	ARCHITECTURAL AREA LIGHTING	UCS-STR-12LED-WW	UNIVERSAL - STRAIGHT HOOD, STRAIGHT SPUN ALUMINUM HOOD, COATED LENS.	12 DIODES. 3000K	1	1044	1	26.9
□	WW	1	Lithonia Lighting	DSXW2 LED 20C 1000 30K T3M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 1000mA DRIVER, 3000K LED, TYPE 3 MEDIUM OPTIC.	LED	1	7172	1	73
□	B	3	RAB LIGHTING - VANDAL-PROOF				1	5000	1	35
○	C	11	ARCHITECTURAL AREA LIGHTING				1	5000	1	35
□	3M1	3	Lithonia Lighting	DSX0 LED P1 30K T3M MVOLT HS	DSX0 LED P1 30K T3M MVOLT with houseshield	LED	1	3442	1	38

FNB BASTROP - DOWNTOWN
 BRANCH
 605 SPRING STREET BASTROP TX 78602

SITE PHOTOMETRICS

REVISIONS: △		
No.	Description	Date

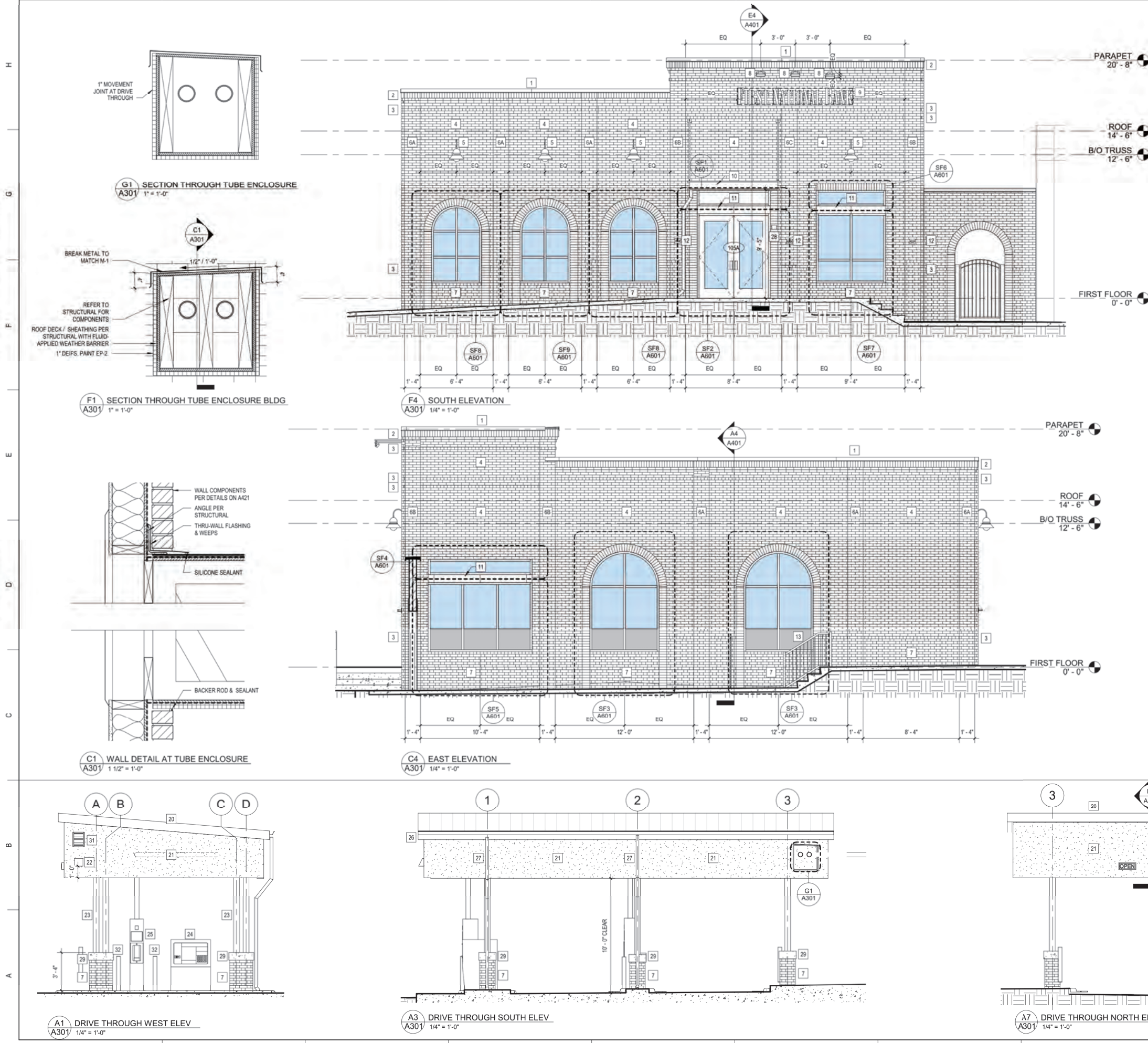
DRAWN BY: JER
 CHECKED BY: CCE
 DATE: 12/01/20

NOVUS JOB NUMBER
 2016-5100.41

SHEET NUMBER
E102

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2020 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS

1 2 3 4 5 6 7 8 9 10



GENERAL ELEVATION NOTES

- REFER TO A21 FOR DETAILS
- 1" CLEAR INSULATED GLASS
- SPANDREL PANEL
- 1/4" CLEAR GLASS
- TEMPERED GLASS (SHOWN ON A601 ONLY)

KEYNOTES - ELEVATION

- | # | DESCRIPTION |
|----|---|
| 1 | PARAPET CAP - REFER TO DETAILS ON A421. FINISH TO BE M-3 |
| 2 | SOLDIER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE. |
| 3 | HEADER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE. |
| 4 | STRETCHER BOND BRICK, B-1 |
| 5 | EXTERIOR LIGHT FIXTURE - REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS |
| 6A | TYPICAL BRICK PLASTER - REFER TO DETAILS ON A412 & A421 |
| 6B | TALL BRICK PLASTER - REFER TO DETAILS ON A412 & A421 |
| 6C | SHORT BRICK PLASTER - REFER TO DETAILS ON A412 & A421 |
| 7 | FLEMISH BOND BRICK, B-1 |
| 8 | EXTERIOR SIGNAGE LIGHT - REFER TO ELEVATION FOR MOUNTING HEIGHT & ELECTRICAL SHEETS FOR SPECIFICATIONS |
| 9 | BUILDING SIGNAGE, APPROX. 15 SF |
| 10 | PREFABRICATED METAL CANOPY, BASIS OF DESIGN - MASA ARCHITECTURAL CANOPIES, EXTRUDECK, HANGER ROD SUPPORTED, INDI H (2P) EDGE PROFILE, INTEGRAL DOWNSPOUT, AND RECESSED LIGHTING PER A121 AND ELECTRICAL SHEETS. FINISH TO BE M-2. REFER TO A201 FOR DIMENSIONS. |
| 11 | CAST STONE LINTEL, ST-1 |
| 12 | EXTERIOR SCONCE, CENTERED ON BRICK PLASTER. REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS. |
| 13 | STAIRS WITH RAILING PER CIVIL |
| 14 | MECHANICAL LOUVER - REFER TO MECHANICAL SHEETS FOR SPECIFICATIONS. FINISH TO BE M-1. |
| 15 | NIGHT DEPOSIT - REFER TO A103 FOR TYPE. COMPLY WITH MFRS RECOMMENDED CLEARANCES. |
| 16 | TRANSACTION WINDOW - REFER TO A601 FOR DIMENSIONS. COMPLY WITH MFRS RECOMMENDED CLEARANCES. |
| 17 | DEAL DRAWER, COMPLY WITH MFRS RECOMMENDED CLEARANCES. |
| 18 | 5"W x 4"H OVERFLOW SCUPPER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS. |
| 19 | LEADERHEAD (BASIS OF DESIGN - K&M SHEET METAL, COMMERCIAL CONDUCTOR HEAD, SKU CHCM) WITH 4"x5" NON-CORRUGATED DOWNSPOUT. BOTH TO BE FINISHED M-1. REFER TO A201/A211 FOR DETAILS. COORDINATE ROUTING WITH CIVIL. |
| 20 | ALUMINUM FASCIA, FINISH TO BE M-1 |
| 21 | DEFS PAINTED EP-2 |
| 22 | EXTERIOR WALL PACK - REFER TO ELECTRICAL SHEETS FOR SPECIFICATIONS |
| 23 | ROUND STEEL COLUMNS PER STRUCTURAL. PAINT EP-1. |
| 24 | LOCATION OF FUTURE ATM |
| 25 | EXTERIOR PNEUMATIC TUBE SYSTEM - COMPLY WITH MFRS RECOMMENDED CLEARANCES, REFER TO A5101 FOR LOCATIONS. |
| 26 | 5"W x 4"H GUTTER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS. |
| 27 | 3" DIAMETER ROUND DOWNSPOUT. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS. |
| 28 | SURFACE MOUNTED KNOXBOX - REFER TO MFRS RECOMMENDATIONS FOR MOUNTING HEIGHT. |
| 29 | 8" TALL CONCRETE CAP. REFER TO DETAILS ON A5101. |
| 30 | BRICK ARCH TO BE THE SAME SIZE AS ADJACENT ARCH AT SF-10. |
| 31 | GABLE LOUVER (INSTALL ON BOTH EAST AND WEST FACES OF DRIVE-THROUGH), APPROX SIZE 15'H, 12"W. ENSURE TOTAL NFA FROM THE 2 LOUVERS IS GREATER THAN 264 SQ IN. PAINT TO MATCH ADJACENT DEFS. |
| 32 | 4" DIAMETER BOLLARD WITH PLASTIC SLEEVE. LOCATION PER PNEUMATIC TUBE MFRS RECOMMENDATIONS. SLEEVE FINISH TO COORDINATE WITH M-1. |

EXTERIOR FINISH SELECTIONS

- CLADDING**
- B-1 BRICK FINISH, BASIS OF DESIGN: TBD IN A MODULAR SIZE
 - BM-1 MORTAR, BASIS OF DESIGN: WORKRITE MASONRY CEMENT, COLOR TBD
 - ST-1 8" TALL CAST STONE LINTEL, BASIS OF DESIGN: ROCKCAST BA-100, COLOR BUFFSTONE
- EXTERIOR PAINT**
- EP-1 SHERWIN WILLIAMS, SW7020 COLOR: BLACK FOX, FINISH: SEMI-GLOSS (EXTERIOR DOOR & STEEL COLUMNS)
 - EP-2 SHERWIN WILLIAMS, COLOR TBD TO COORDINATE WITH BRICK FINISH, FINISH: FLAT (DEFS)
 - EP-3 SHERWIN WILLIAMS, SW7025 COLOR: HIGH REFLECTIVE WHITE, FINISH: FLAT (UNDERSIDE OF DRIVE-THROUGH CANOPY)
- METAL FINISH**
- M-1 DARK PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: DARK BRONZE (AT STANDING SEAM ROOF, SCUPPERS, DOWNSPOUTS, AND GATE)
 - M-2 DARK PREFINISHED METAL, BASIS OF DESIGN: TIGER DRYLAC, COLOR: BRONZE MATTE METALLIC (AT NIGHT DEPOSIT & FRONT CANOPIES)
 - M-3 TAN PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: ALMOND (AT PARAPET CAP)
- MISCELLANEOUS**
- S-1 SPANDREL PANEL, BASIS OF DESIGN: ICD HIGH PERFORMANCE COATINGS, OPACI-COAT-300 IN 80/20% HARMONY R9 IIF



LEVEL
Think strategically. Build creatively.

2018 POWERS FERRY ROAD, SE SUITE 750
ATLANTA, GA 30339-7208
(404) 761-0208
FAX: (878) 539-2850



FNB BASTROP - DOWNTOWN BRANCH
605 SPRING STREET BASTROP TX 78602

EXTERIOR ELEVATIONS

No.	Description	Date
1	CR #1	12/17/20
2	CR #2	1/29/21

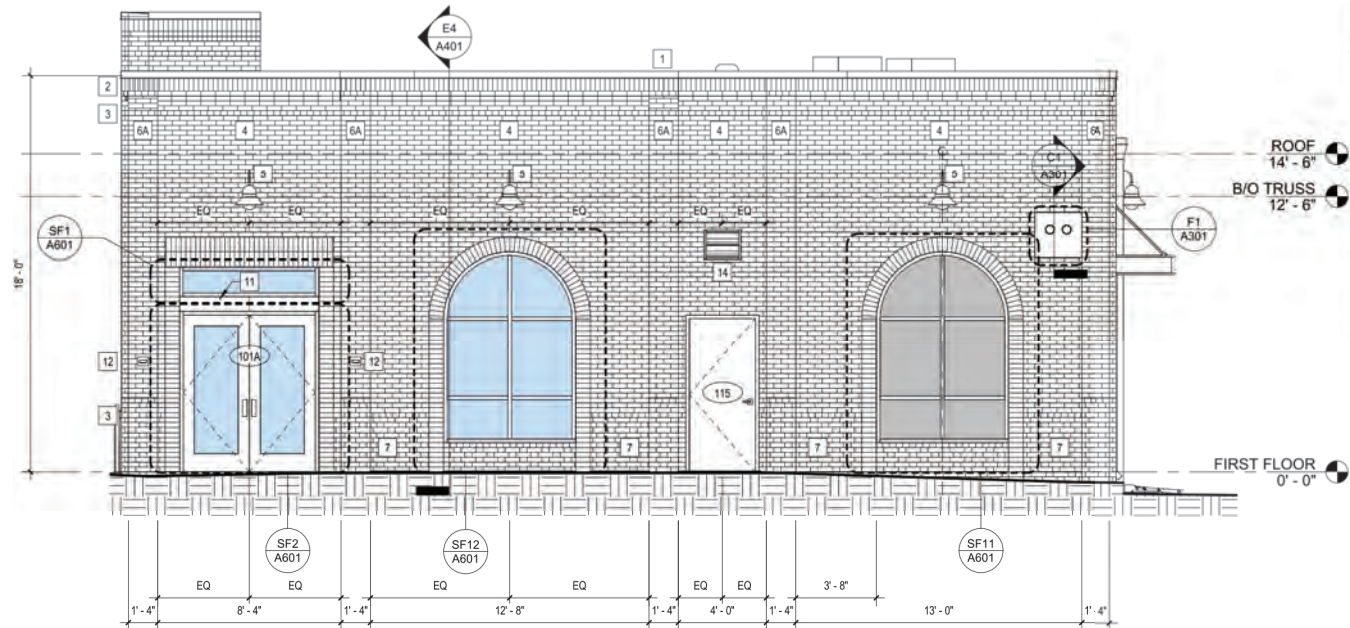
DRAWN BY: VBB
CHECKED BY: MDM
DATE: 12/1/20

NOVUS JOB NUMBER
2016-5100.41

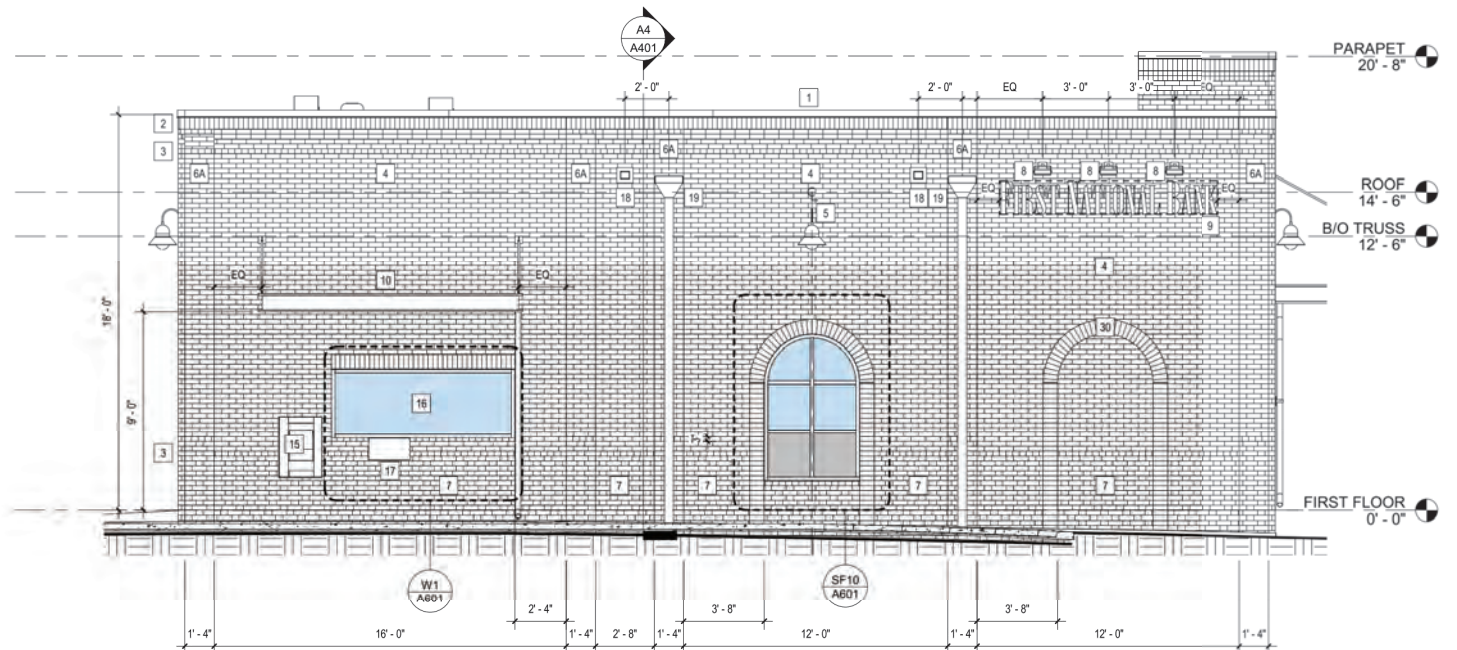
SHEET NUMBER
A301

CONSTRUCTION DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2020 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



F4 NORTH ELEVATION
A302 1/4" = 1'-0"



C4 WEST ELEVATION
A302 1/4" = 1'-0"

GENERAL ELEVATION NOTES

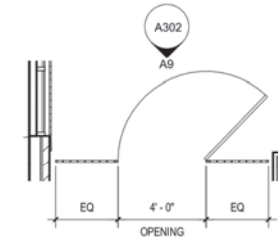
- REFER TO A21 FOR DETAILS
- 1" CLEAR INSULATED GLASS
- SPANDREL PANEL
- 14" CLEAR GLASS
- TEMPERED GLASS (SHOWN ON A601 ONLY)

KEYNOTES - ELEVATION

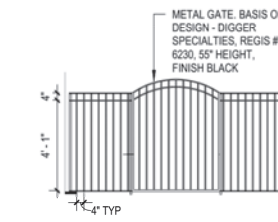
- PARAPET CAP - REFER TO DETAILS ON A21. FINISH TO BE M-3.
- SOLDIER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE.
- HEADER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE.
- STRETCHER BOND BRICK, B-1
- EXTERIOR LIGHT FIXTURE - REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS
- TYPICAL BRICK PLASTER - REFER TO DETAILS ON A412 & A421
- TALL BRICK PLASTER - REFER TO DETAILS ON A412 & A421
- SHORT BRICK PLASTER - REFER TO DETAILS ON A412 & A421
- FLEMISH BOND BRICK, B-1
- EXTERIOR SIGNAGE LIGHT - REFER TO ELEVATION FOR MOUNTING HEIGHT & ELECTRICAL SHEETS FOR SPECIFICATIONS
- BUILDING SIGNAGE, APPROX. 15 SF
- PREFABRICATED METAL CANOPY, BASIS OF DESIGN - MASA ARCHITECTURAL CANOPIES, EXTRUDECK, HANGER ROD SUPPORTED, IN H (2P) EDGE PROFILE, INTEGRAL DOWNSPOUT, AND RECESSED LIGHTING PER A121 AND ELECTRICAL SHEETS. FINISH TO BE M-2. REFER TO A201 FOR DIMENSIONS.
- CAST STONE LINTEL, ST-1
- EXTERIOR SCANCE, CENTERED ON BRICK PLASTER. REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS.
- STAIRS WITH RAILING PER CIVIL
- MECHANICAL LOUVER - REFER TO MECHANICAL SHEETS FOR SPECIFICATIONS. FINISH TO BE M-1.
- NIGHT DEPOSIT - REFER TO A103 FOR TYPE. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.
- TRANSACTION WINDOW - REFER TO A601 FOR DIMENSIONS. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.
- DEAL DRAWER, COMPLY WITH MFR'S RECOMMENDED CLEARANCES.
- 5"W x 4"H OVERFLOW SCUPPER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.
- LEADERHEAD (BASIS OF DESIGN - K&M SHEET METAL, COMMERCIAL CONDUCTOR HEAD, SKU CHCM) WITH 4"x5" NON-CORRUGATED DOWNSPOUT. BOTH TO BE FINISHED M-1. REFER TO A201/A211 FOR DETAILS. COORDINATE ROUTING WITH CIVIL.
- ALUMINUM FASCIA, FINISH TO BE M-1
- DEFS PAINTED EP-2
- EXTERIOR WALL PACK - REFER TO ELECTRICAL SHEETS FOR SPECIFICATIONS
- ROUND STEEL COLUMNS PER STRUCTURAL. PAINT EP-1.
- LOCATION OF FUTURE ATM
- EXTERIOR PNEUMATIC TUBE SYSTEM - COMPLY WITH MFR'S RECOMMENDED CLEARANCES, REFER TO AS101 FOR LOCATIONS.
- 5"W x 4"H GUTTER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.
- 3" DIAMETER ROUND DOWNSPOUT. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.
- SURFACE MOUNTED KNOXBOX - REFER TO MFR'S RECOMMENDATIONS FOR MOUNTING HEIGHT.
- 8" TALL CONCRETE CAP. REFER TO DETAILS ON AS101.
- BRICK ARCH TO BE THE SAME SIZE AS ADJACENT ARCH AT SF-10.
- GABLE LOUVER (INSTALL ON BOTH EAST AND WEST FACES OF DRIVE-THROUGH), APPROX SIZE 15'H, 12"W. ENSURE TOTAL NFA FROM THE 2 LOUVERS IS GREATER THAN 264 SQ IN. PAINT TO MATCH ADJACENT DEFS.
- 4" DIAMETER BOLLARD WITH PLASTIC SLEEVE. LOCATION PER PNEUMATIC TUBE MFR'S RECOMMENDATIONS. SLEEVE FINISH TO COORDINATE WITH M-1.

EXTERIOR FINISH SELECTIONS

- CLADDING
- B-1 BRICK FINISH, BASIS OF DESIGN: TBD IN A MODULAR SIZE
 - BM-1 MORTAR, BASIS OF DESIGN: WORKRITE MASONRY CEMENT, COLOR TBD
 - ST-1 8" TALL CAST STONE LINTEL, BASIS OF DESIGN: ROCKCAST BA-100, COLOR BUFFSTONE
- EXTERIOR PAINT
- EP-1 SHERWIN WILLIAMS, SW7020 COLOR: BLACK FOX, FINISH: SEMI-GLOSS (EXTERIOR DOOR & STEEL COLUMNS)
 - EP-2 SHERWIN WILLIAMS, COLOR TBD TO COORDINATE WITH BRICK FINISH, FINISH: FLAT (DEFS)
 - EP-3 SHERWIN WILLIAMS, SW7025 COLOR: HIGH REFLECTIVE WHITE, FINISH: FLAT (UNDERSIDE OF DRIVE THROUGH CANOPY)
- METAL FINISH
- M-1 DARK PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: DARK BRONZE (AT STANDING SEAM ROOF, SCUPPERS, DOWNSPOUTS, AND GATE)
 - M-2 DARK PREFINISHED METAL, BASIS OF DESIGN: TIGER DRYLAC, COLOR: BRONZE MATTE METALLIC (AT NIGHT DEPOSIT & FRONT CANOPIES)
 - M-3 TAN PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: ALMOND (AT PARAPET CAP)
- MISCELLANEOUS
- S-1 SPANDREL PANEL, BASIS OF DESIGN: ICD HIGH PERFORMANCE COATINGS, OPACI-COAT-300 IN #5-025 HARMONY RL LIE



B9 METAL GATE PLAN
A302 1/4" = 1'-0"



A9 METAL GATE ELEVATION
A302 1/4" = 1'-0"

SHEET 22 OF 23



2018 POWERS FERRY ROAD, SE SUITE 750
ATLANTA, GA 30339-7208
(404) 761-0008
FAX: (978) 539-2850



FNB BASTROP - DOWNTOWN BRANCH
605 SPRING STREET BASTROP TX 78602
EXTERIOR ELEVATIONS

REVISIONS:

No.	Description	Date
1	CR #1	12/17/20
2	CR #2	1/29/21

DRAWN BY: VBB
CHECKED BY: MDM
DATE: 12/1/20

NOVUS JOB NUMBER
2016-5100.41

SHEET NUMBER
A302

CONSTRUCTION DRAWINGS

ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2020 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



D1 FRONTAGE ELEVATION
A303 1/4" = 1'-0"

BRICK 77%	CAST STONE 1%	GLAZING CLEAR 6.5%	GLAZING CLEAR FROSTED 6.5%	PARAPET CAP 1.5%	DOWNSPOUTS, CANOPY, IRON GATE 3.5%	STOREFRONT METAL 4%



LEVEL
Think strategically. Build creatively.
2018 POWERS FERRY ROAD, SE
SUITE 750
ATLANTA, GA 30339-7208
(404) 761-0008
FAX (678) 539-2850



FNB BASTROP - DOWNTOWN
BRANCH
605 SPRING STREET BASTROP TX 78602

EXTERIOR ELEVATIONS

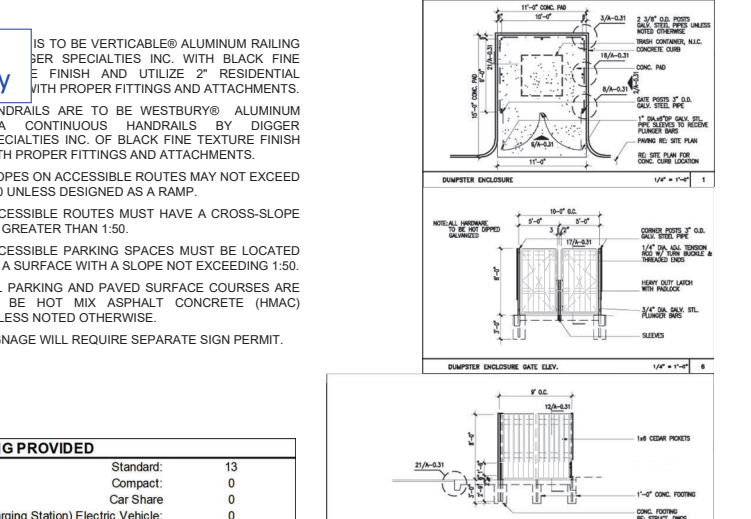
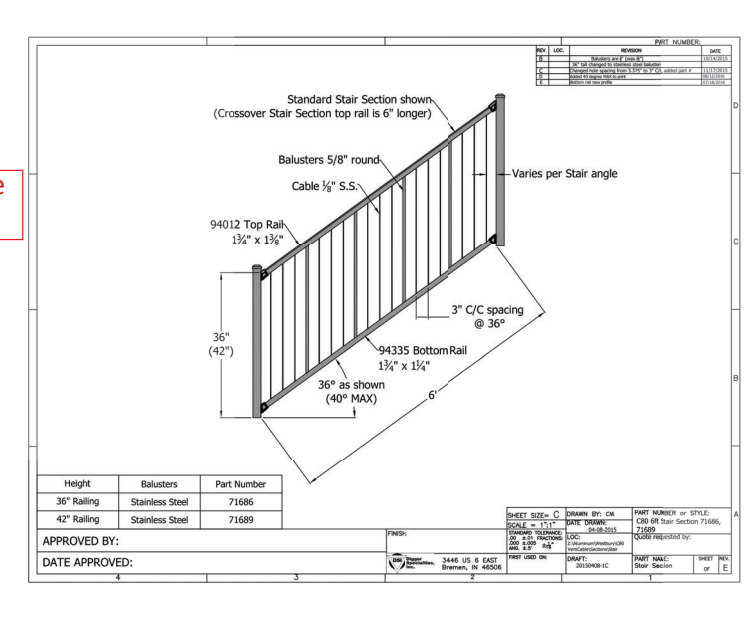
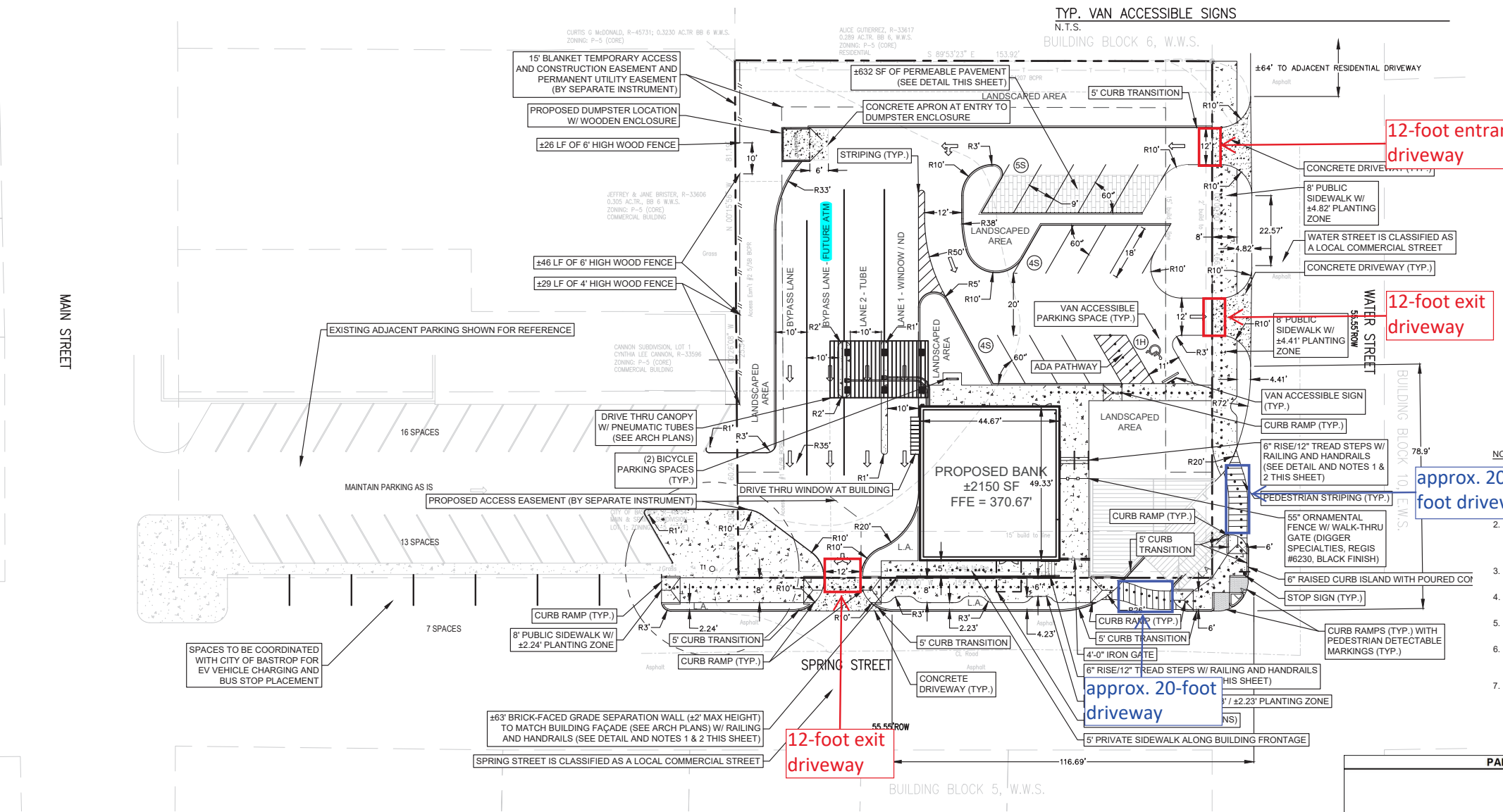
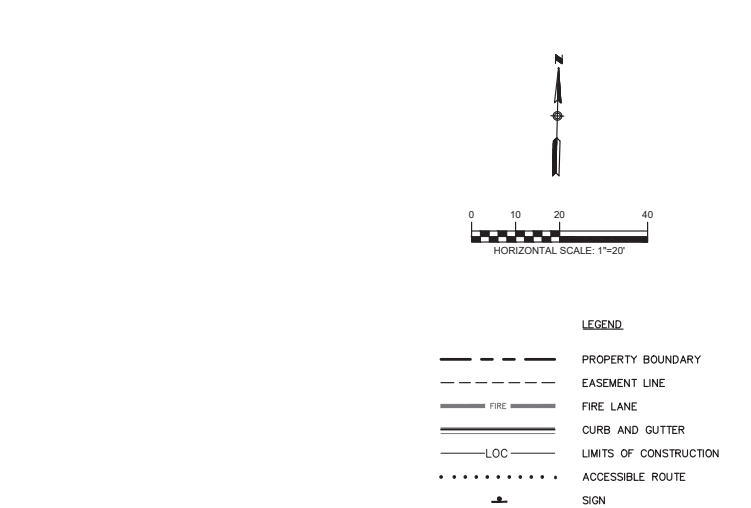
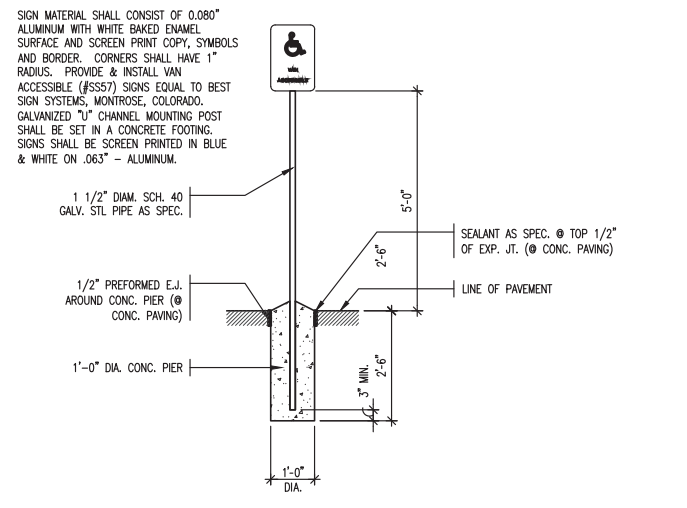
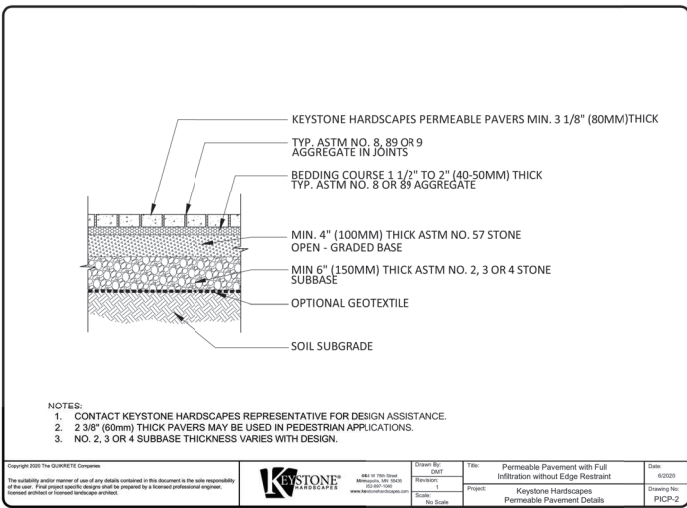
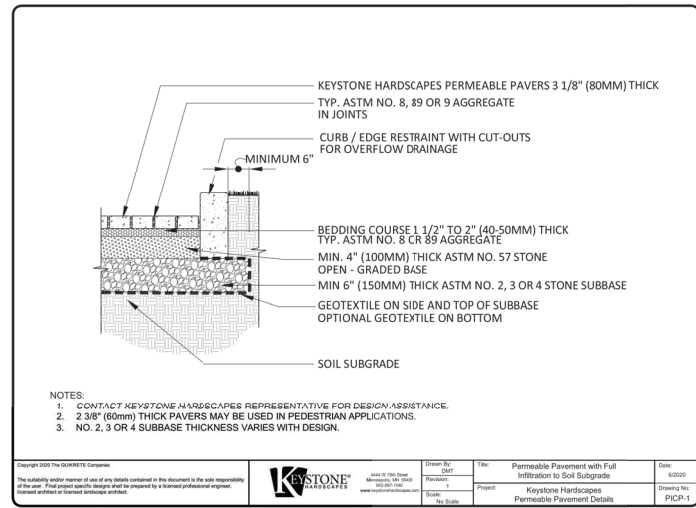
REVISIONS:

No.	Description	Date

DRAWN BY: VBB
CHECKED BY: MDM
DATE: 12/1/20

NOVUS JOB NUMBER
2016-5100.41

SHEET NUMBER
A303



First National Bank of Bastrop	Lot Area (ac.)	Zoning	Open Space Area		Civic Space Prop. (sf, %)	Building Height Prop. (ft)	Bldg. Area (sf)	Building Coverage Prop. (%)	Impervious Cover	
			Prop. (sf)	Prop. (%)					Ex. (%)	Prop. (%)
Commercial - Bank	0.588	P-5 (CORE)	7,591	30%	N/A	20.67'	2,150	8%	69%	68%

PARKING PROVIDED	
Standard:	13
Compact:	0
Car Share:	0
(Charging Station) Electric Vehicle:	0
Accessible:	1
Total:	14
Accessible Spaces Required:	1
Bicycle Spaces Provided:	6

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PAUL VIKTORIN
66879
LICENSED PROFESSIONAL ENGINEER
03/15/2021

Southwest Engineers
HEADQUARTERS
307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7548 F: 830.672.2014

CENTRAL TEXAS
205 Cimarron Park Loop, Ste. B, Duda TX 78610
P: 512.312.4336

TBPE NO. F-1909
www.swengineers.com

WARNING
IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

SITE & DIMENSION CONTROL PLAN

FIRST NATIONAL BANK OF BASTROP
714 SPRING STREET, BASTROP, TX 78602

DRAWN BY: LS
CHECKED BY: PV

PROJECT NO. 0930-001-20

DRAWING NO. _____

SHEET 8 OF 23

O:\Vompano\clients\0930 - novus architects\0930-001-20_fnb bastrop site plan\lead [com] Sheets\0930-001_SITE.dwg ~ Layout: "SITE" ~ Mon, Mar 15, 2021, 3:36pm, By: C1038_Lukas



STAFF REPORT

MEETING DATE: March 25, 2021

AGENDA ITEM: 4A

TITLE:

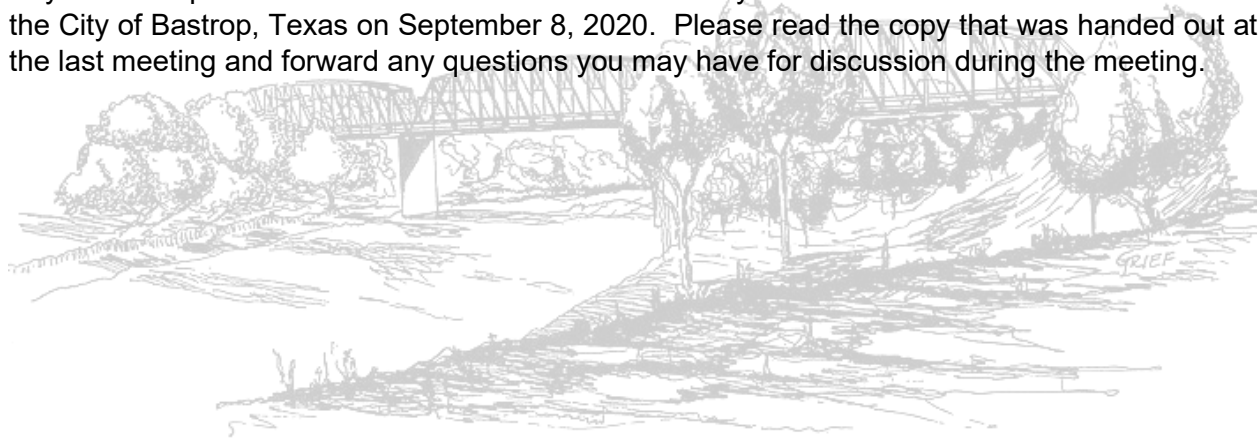
Discussion on Rules of Procedure for the City Council and Boards and Commission of the City of Bastrop, Texas.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

BACKGROUND/HISTORY:

City Council updated the Rules of Procedures for the City Council and Boards & Commissions of the City of Bastrop, Texas on September 8, 2020. Please read the copy that was handed out at the last meeting and forward any questions you may have for discussion during the meeting.





STAFF REPORT

MEETING DATE: March 25, 2021

AGENDA ITEM: 4B

TITLE:

Discussion on Comprehensive Plan Executive Summary, Chapter 4 – Housing & Neighborhoods and any other follow up the February meeting.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

BACKGROUND/HISTORY:

The 2036 Comprehensive Plan was adopted on November 22, 2016. This document takes a proactive, comprehensive approach to addressing a community's growth and development as we plan for the City over a 30-year time frame. In the Implementation Plan in Chapter 9, it is recommended that the Commission review and update the Short-term Work Program. Every five years, a broader review of the entire plan is recommended. As we approach the five-year mark since adoption, we will begin the process of defining the scope for the review to be completed. This five-year review is not a re-write of the Comprehensive Plan, but an update to reflect completed projects and new focus areas of the City.

For this meeting, please read the Chapter 4 – Housing & Neighborhoods. Staff recommends specifically reviewing the Goals and Objectives to identify specific goals that have been met or need to be updated. Also, if you have any follow up from the discussion from the February meeting, please bring any additional questions or comments.

REFERENCE DOCUMENTS:

2036 Comprehensive Plan

https://www.cityofbastrop.org/page/plan.comp_plan



STAFF REPORT

MEETING DATE: March 25, 2021

AGENDA ITEM: 4C

TITLE:

Discussion on the direction of amendments to the Bastrop Building Block (B³) Code, Chapter 8 - Signs.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

BACKGROUND/HISTORY:

At the January 28, 2021, the Assistant Planning Director provided an update on the Bastrop Building Block (B³) Code and provided specific sections of the Code that need some revisions that staff has identified during the implementation phase. Chapter 8 – Signs is a part of the code that the business community has provided feedback, especially on the State Highway 71 and State Highway 95 corridors.

- Illumination (8.1.009 (a) 2. E and (b) 2. C)

Current code: Only external illumination allowed. Can approve internally illuminated channel letters by Warrant (Article 8.3 (c) iii 2).

Proposed: Allow internal illumination on pylon, monument, and band signs within the SH71 and SH95 corridors. Adopt illumination standards requiring dimming signs at night, and continue standard requiring signs to be turned off when the business is closed. Expand Warrant option from just band signs to include monument signs outside of the SH71/SH95 corridors. Planning Staff is still conducting research on appropriate luminance levels that comply with Scenic City and Bird City certification, dark sky requirements, and making sure they are enforceable.

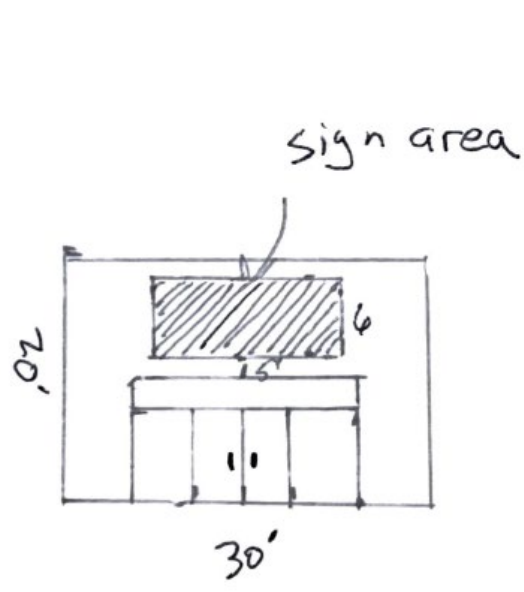
- Create standards for SH71 and SH95 Corridors

Current Code: The same sign standards apply to the entire city limits and ETJ.

Proposed: Define the corridors. Not all lots visible on SH71 have frontage to SH71. Adopt a range from the centerline of SH71 (720 feet) for the SH71 corridor. Any tract within the range can use the SH71 corridor standards. For SH95 most commercial lots have direct frontage onto SH95.

Allow Band Signs to occupy 15% of the wall area, must leave a border unoccupied (no limit on total height/width or letter height, however, cannot extend beyond wall area). When a sign exceeds 3 feet in height, site/business is limited to a monument sign (no pylon) that cannot exceed 8 feet in height.

Band Sign Example
Proposed Standard



20' tall by 30' wide building
 600 sf wall area
 90 sf 15% - sign area
 $6' \times 15' = 90 \text{ sf}$

- Sign Administrator (Chapter 10: Definitions, page 244)

Current code: Not defined who fills this role. Reviews and approves sign permits. Makes recommendations to ZBA on Variances. Has the authority to approve Master Sign Plans or recommend approval to City Council.

Proposed: Define Sign Administrator as Director of Planning & Development or designee. Move approval authority for Sign Warrant from the Development Review Committee to the Sign Administrator.

- Incidental Signage

Current code: No standard

Proposed: Incidental signs definition - signs that are intended for the convenience of the public, which are informational only, and which do not include the advertising of products or services. Such signs include business hours signs, credit card signs, entrance and exit signs, and similar signs, some of which may be required by law for safety purposes. Cannot be illuminated. Individual signs cannot be greater than 16 square feet.

- Signs Requiring a Permit (Section 8.1.009)

Current: Temporary sign section was copied from previous code. Still makes reference to old zoning districts. Not clear when a permit is required. Requires a permit for an address sign.

Proposed: Clean up zoning references. Require permits for Temporary Sign Types: Banner Signs, Construction Site Signs, Development Information Signs. These type of signs have International Building Code and/or time requirements that a permit will track. Remove light pole-mounted banners (or move under governmental signs section) as they are governmental signage and are installed by the Main Street Program.

Addresses are required in the International Building Code and International Fire Code. Remove any references from Chapter 8 as size requirements conflict with adopted I-Codes.

These items, along with any feedback from the Commissioners will be incorporated into draft amendments to Chapter 8 and will be brought forward for a Public Hearing at the April 29, 2021 Planning & Zoning Commission if recommended, forwarded to the City Council on May 25, 2021 City Council for Public Hearing and First Reading of the Ordinance to adopt amendments.

REFERENCE DOCUMENTS:

Bastrop Building Block (B3) Code: Chapter 8 - Signs



CHAPTER 8: SIGNS



ARTICLE 8.1 SIGNS

SEC. 8.1.001 INTENT

The intent of regulating Signs that are visible from the Public Frontage is to ensure proper dimensioning and placement with respect to existing or planned architectural features, to maintain or improve public safety, to maintain or improve the aesthetic character of the context where they are located, and to provide legible information for pedestrians, not just drivers.

SEC. 8.1.002 PURPOSE

The purpose of a Sign permit is to authorize the display, erection, rebuilding, restructuring, expansion, relocation, or structural Alteration of any on-premise or Off-Premise Sign.

SEC. 8.1.003 APPLICABILITY

These Standards apply to all property within the City Limits and the ETJ of the City of Bastrop as it exists at the time this Code was adopted and as it may be amended and expanded in the future.

SEC. 8.1.004 ENFORCEMENT

- (a) It is an offense for a person to violate, a section of this chapter designated as an offense commits a misdemeanor punishable by a fine. A violation occurs when a person violates or causes, allows, or permits a violation of this chapter.
- (b) Each violation of this chapter designated as an offense constitutes a separate offense.
- (c) No culpable mental state is required to prove an offense under this chapter if this offense involves:
 - (1) Placement of a Sign in the right-of-way;
 - (2) Placement of a Sign in another person's property without the person's permission; or,
 - (3) Placement of a Sign that encumbers access to a person's property or encumbers use of a Street, Sidewalk, trail, Path, or Driveway.
 - (4) Placement of a sign unlawfully situated in a required Sight Triangle.

SEC. 8.1.005 PROHIBITED SIGNS

(a) All Signs are prohibited in the City Limits and the Extraterritorial Jurisdiction (ETJ) unless:

- (1) Constructed, maintained, structurally altered, or improved pursuant to a valid permit when required under this Code; and,
- (2) Expressly authorized under the City of Bastrop’s B³ Code.

(b) Signs that cannot be expressly authorized include:

- (1) Signs located in or projected over any public right-of-way or across the public right-of-way line extended across a railroad right-of-way, except when attached to and projecting no more than 18 inches from a Building wall legally located at or near the right-of-way line in the City Limits or in the ETJ.
- (2) Portable Signs.
- (3) Off-Premise Sign (including Billboards) containing Commercial advertising for the sale, rent, or lease of goods, real property, or services.

- (4) Signs with lights that blink, fluctuate, or move. Light rays must shine only upon the Sign and upon the property within the Premises where the Sign is located.
- (5) Signs of a size, location, movement, coloring, or manner of illuminating that may be confused with or construed as a traffic control device.
- (6) Signs that are attached to any utility pole or wire, traffic Sign, or public easement or are placed on government-owned property unless placed by written permission of the governmental entity.
- (7) Signs that obstruct any fire escape, required exit, window, or door opening intended as a means of egress.
- (8) Boxes, tires, or other goods stored in view of the Street, etc. that have large product identification that serves as a Sign.
- (9) Feather Banners.
- (10) Commercial Signs or advertising materials that are worn, held, or attached to a person’s body advertising the sale of goods, real property, or services.
- (11) Balloon Signs.

- (12) Inflatable Signs.
- (13) Banners.
- (14) Pennants.
- (15) Pole Signs other than along Hwy. 71.
- (16) Roof Signs (including Signs that are otherwise authorized but are placed on a roof or on a Mobile Food Vendor or vehicle).
- (17) Signs placed or attached to trees, bushes, planters, benches, or other Pedestrian elements.
- (18) Signs on trash receptacles except for Signs that are required by law, provide direction on the trash receptacle's use, provide safety instructions, or are otherwise customarily found on trash receptacles as a means of identifying the trash collection company.
- (19) Flags with a Commercial message.

SEC. 8.1.006 OFF-PREMISE SIGNS (BILLBOARDS)

- (a) No permit for Alteration or relocation may be issued for an off-Premises Signs.
- (b) Alteration. An off-Premises Sign may not be altered regarding amount of surface area, shape, orientation,

Height, illumination, or location without the prior issuance of a Sign Alteration or relocation permit. Ordinary and routine necessary repairs that do not change the size, shape, orientation, Height, illumination, or location of an inventoried off-Premises Sign do not require an Alteration permit. A Sign Alteration permit expires if the approved modifications are not completed within 90 days of permit issuance.

- (c) Maintenance. If the City finds that any off-Premises Sign is not maintained in good repair, the City will notify and order the owner to repair the Sign within 30 calendar days. If the City finds that the Sign Structure or Sign area of an off-Premises Sign has deteriorated more than 60% of its replacement value or is not repaired within 30 calendar days, the City shall notify the owner of the off-Premises Sign and the owner of the real property where the off-Premises Sign is located to remove the off-Premises Sign or poster panel from the property within a specified time. Replacement of more than 60% of an off-Premises Sign during one calendar year shall void the legal nonconforming status of the Sign and require immediate Removal or conformance with current Standards. All off-Premises Signs ordered to be removed shall be stricken from the authorized list.

(d) No existing billboard shall exceed 40 feet in Height from the ground level. No existing billboard shall interfere with the visibility of pedestrians or drivers of motor vehicles at Street intersections or otherwise obstruct traffic or create a traffic hazard.

SEC. 8.1.007 NONCONFORMING SIGNS

(a) Signs in Existence Prior to this Code. A Sign existing on the effective date of the Development Code that violates this Article or any other ordinance, and a Sign that comes under the jurisdiction of this Chapter due to the expansion of the City, is a legal Nonconforming Sign and may be continued, repaired, and maintained in good condition, but may not be otherwise altered.

(b) Voluntary Removal. Voluntary Removal of a Nonconforming Sign for purposes other than maintenance shall terminate its status as a legal Nonconforming Sign. Replacing a Sign cabinet is not considered maintenance.

SEC. 8.1.008 EXEMPTED SIGNS

(a) The following Signs authorized under this Section are authorized in every Place Type or property in the ETJ without a permit, unless specifically required below:

- (1) Government Signs including Signs placed by the City, state, or federal government governing in their official capacity.
- (2) Traffic control devices that are erected and maintained to comply with the Texas Manual on Uniform Traffic Control Devices.
- (3) Signs required by this section.
- (4) Signs required by other law, including federal, state, or local law, including a Sign that a property owner is required to post on the owner's property to warn of a danger or to prohibit access to the property either generally or specifically; the owner must comply with the federal, state, or local law to post a Sign on the property.
- (5) Official governmental notices and notices posted by governmental officers in the performance of their duties for regulatory purposes such as neighborhood crime watch areas, to identify Streets, or to warn of danger including those placed by the City, County, federal or state.

(6) Signs displayed on trucks, buses, trailers, mobile food vendors, or other vehicles that are less than 32 square feet and are being operated as motor vehicles, provided that the primary purpose of the vehicles is not for display of Signs and provided that they are parked in areas appropriate to their use as vehicles, are in operable condition, and carry a current and valid license plate and state inspection tag. Vehicle Signs shall conform to the following restrictions:

- A. Vehicular Signs shall contain no flashing or moving elements;
- B. Vehicular Signs shall not be attached to a vehicle so that the driver's vision is obstructed from any angle; and,
- C. Signs, lights and signals used by authorized emergency vehicles shall not be restricted.

(7) Vending Machine Signs where the Sign Face is not larger than the normal dimensions of the machine to that the Sign is attached.

(8) Memorial Signs or tablets when cut into any masonry surface or attached to a Building when constructed of

bronze or other metal up to 6 square feet as part of a Building.

(9) Real Estate Signs.

- A. Signs containing the message that the real estate where the Sign is located is for sale, lease, or rent together with information identifying the owner or agent.
- B. A real estate Sign may not exceed 4 square feet in size for Residential properties or 16 square feet in size for Nonresidential properties.

(10) Any Sign wholly within the confines of a Building and oriented to be out of view from outside the Building.

(11) Any Sign wholly within the confines of a sports field or court and oriented to be out of view from outside the field or court. No Sign under this section may be larger than 32 square feet. The maximum Height for a field Sign shall not exceed 6 feet.

(12) A non-Commercial Sign that is carried by a person or is a bumper sticker on a vehicle.

(13) Business-related Signs on or visible through doors or windows indicating: store hours, security systems, trade organization memberships, credit cards accepted, no solicitation, and open/closed. These Signs will not count towards the cumulative Sign area limits so long as their total cumulative Sign area does not exceed 5 square feet.

(14) Changing a Commercial message to a noncommercial message on any legal Sign surface. Any Sign surface where a Commercial message may contain a noncommercial message.

SEC. 8.1.009 SIGNS REQUIRING A PERMIT

(a) Building Signs:

A Building Sign is an on-Premises Sign that is directly attached to, erected on, or supported by a Building or other Structure having a principal function other than the support of such Sign.

(1) Building Signs Types:

- A. Address Sign
- B. Awning Sign
- C. Band Sign

- D. Blade Sign
- E. Marquee Sign
- F. Nameplate Sign
- G. Outdoor Display Case Sign
- H. Window Sign

(2) General Requirements:

- A. Size. The maximum size of the sum of the area of all Building Signs may not exceed 15% of the Facade area of the tallest floor.
- B. Number. More than one Building Sign may be erected, provided the total surface area allowed is not exceeded.
- C. Height. No Building Sign may extend above the parapet wall or roof line of the Building.
- D. Projection / Clearance. With the exception of a blade Sign, no Building Sign may project more than 6 inches from the Building wall. All Signs that project more than 6 inches from the wall must maintain a clear Height of 8 feet above the ground.

E. Illumination. Building Signs may only be externally illuminated. No Sign may be illuminated except during operating hours of the use with which it is associated. Lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-of-way and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the the Lighting Standards within this Code.

(b) Freestanding Signs:

A Freestanding Sign is an on-Premises Sign not directly attached to, erected on, or supported by a Building or other Structure having a principal function other than the support of such Sign, but instead attached to, erected on, or supported by some Structure such as a pole, frame, or other Structure that is not a part of the Building.

(1) Freestanding Signs Types:

- A. Sidewalk Sign
- B. Yard Sign

(2) General Requirements:

A. Size. Allocation of Sign area is based on the linear Frontage of the Project Site. A maximum Sign area of 1 square foot for each 2 linear feet of Frontage, provided that the maximum surface area does not exceed 16 square feet.

B. Number. One Freestanding Sign is allowed on any Lot. If a Master Sign Plan is approved, two Freestanding Signs may be allowed on a Lot or Project having a minimum Frontage of 300 feet.

C. Illumination. Freestanding Signs may only be externally illuminated. Lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-of-way and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the City's Code.

(c) Monument and Pole Signs:

A Freestanding Sign with single or multiple tenants, no more than 35 feet in Height, and having a ratio of less than 4:1 Sign width to narrowest width of support structure.

SEC. 8.1.010 ON-PREMISES FREESTANDING SIGNS (MONUMENT SIGN)

(a) Allowed Signs and Standards. Permanent on-Premises Freestanding Signs are subject to the following Standards:

(1) The number of these Signs on a Premises is limited to one per Street frontage. The following are not counted in this limitation:

A. Directional Signs up to 12 square feet in area, provided the number of these Signs does not exceed the number of driveways; and

(b) Maximum Height

(1) The maximum Height of any on-Premises Signs shall not exceed the following:

A. 35 feet along all Thoroughfares within P5 Place Types.

(c) Maximum Sign Area.

(1) A Signs Height to width ratio may not exceed 4:1.

SEC. 8.1.011 SIGN PERMIT REQUIREMENTS

(a) Applications for a Sign permit must be processed through the City pursuant to this Code.

(b) Requirements. Except as otherwise provided for herein, no Sign shall be erected, posted, painted, or otherwise produced, changed, or reconstructed, in whole or in part, within the City Limits and ETJ of the City without first obtaining a permit.

(c) Applications: Application for a permit required by this Code shall be made upon forms provided by the City. The Application for Sign permits shall contain all information, drawings, and specifications necessary to fully advise the City of the type, size, shape, location, Place Type Zoning District, if within City Limits, Construction, and materials (if in Historic District) of the proposed Sign, and the Building Structure or Premises where it is to be placed. Drawings shall also show all existing Signs on the property. An Application is not considered complete until all necessary information listed in this Code are provided with the Application.

(d) Application for permit. An application for a Sign permit must be Filed with the City. An Application for any Sign must state the date when the owner intends to erect the Sign.

(e) All Applicants must provide sufficient proof, to be determined by the City, showing a real property ownership interest in the property where the Sign will be

located or sufficient proof of authorization from the real property owner for Sign placement on the property.

(f) An Application shall include:

- (1) Name, address, and telephone number of the owner of the Sign;
- (2) Name, address, and telephone of lessor sponsoring the Sign, if any;
- (3) Name, address, and telephone number of the contractor, if any, installing the Sign;
- (4) Name, address, and telephone number of the property where the Sign is to be installed;
- (5) Date when it is to be installed;
- (6) Place Type Zoning District, if in the City Limits, where the proposed Sign will be located;
- (7) Any Warrant that will be requested or has been approved; and,
- (8) An illustration or photograph including the location, appearance, and dimensions of the proposed Sign.

(9) An illustration or photograph of the position of the Sign on a Building or on the ground in plain view, drawn to scale, and Elevation views, drawn to scale.

(10) If required by the City, a copy of stress sheets and calculations showing that the structure is designed for dead load and wind pressure in any direction and in any amount required by this chapter or by the Building Code or other laws adopted by the City.

(11) An application is not considered complete unless all the above information is provided with the Application.

(g) The City shall promptly process the Sign permit Application and approve the Application, reject the Application, or notify the Applicant of deficiencies in the Application within 21 calendar days after receipt. Any Application that complies with all provisions of this Code, the Building Code, and other applicable laws, Standards, and ordinances shall be approved after inspection and approval of the plans and the Site.

(1) If the Application is rejected, the City shall provide in writing a list of the reasons for the rejection. An application shall be rejected for non-compliance with the terms of this Code, Building Code, B³ Technical

Manual or other applicable law, Standards, or ordinance. If the permit Application does not comply with the City ordinances after resubmission and review by City and no variances have been applied for, the Applicant must pay a reapplication fee before the City will review the Application again.

(2) If no action is taken by the City within 21 calendar days after receipt, the City shall not collect a fee for the Sign permit Application. The City then shall approve or reject the Application as soon as practical after the 21-day deadline. A new 21-day deadline begins at each submission. However, if the City has not approved or rejected the permit within 45 calendar days after the completed Application is Filed, the Applicant can file a complaint to the ZBA as if the permit had been denied.

(h) Duration and revocation of permit. If a Sign is not completely installed within 6 months following the issuance of a Sign permit, the permit shall be void. The City may revoke a Sign permit under any of the following circumstances:

(1) The City determines that information in the Application was materially false or misleading;

(2) The Sign as installed does not conform to the Sign permit Application;

(3) The Sign violates this Code, Building Code, B³ Technical Manual, or other applicable law, standard, or ordinance; or

(4) The City determines that the Sign is not being properly maintained or has been abandoned.

(i) Appeals. If the City denies a permit, the Applicant may Appeal through Warrant granted by the Planning & Zoning Commission.

(j) All applications for permits shall include a drawing to scale of the proposed Sign and all existing Signs maintained on the Premises and visible from the right-of-way, a drawing of the Lot plan or Building Facade indicating the proposed location of the Sign, and specifications for its Construction, Lighting, motion, and wiring, if any. All drawings shall be of sufficient clarity to show the extent of the work.

(k) Qualifications. Only those individuals who properly obtained a permit by the City, the City's designee, or other statutorily required permit or approval shall receive a permit to erect or alter any Sign. Permits for the

installation, erection, or Alteration of any electrical components on a Sign shall be issued only to those individuals who hold a Commercial Sign operator's license and master electrician's license. It is an offense for any person licensed under the provisions of this Code to obtain a permit on behalf of, or for the benefit of, any unlicensed person whose Business activities are such that such unlicensed person would need a license to obtain a permit.

(l) Conditions for issuing permits. No permit for the erection or Alteration of any Sign over any Sidewalk, Alley, or other public property, or on or over any roof or Building shall be issued to any person except upon the condition that the permit may be withdrawn at any time, at which time the Sign shall be immediately removed by the Responsible Party, who will also be liable under the penalties provided for in this Code.

(m) Issuance. A new permit shall not be issued when:

(1) An existing billboard (off-Premises) Sign is in a deteriorated, unsafe, or unsightly condition.

(2) A Sign on the Premises is not in compliance with this Code.

(3) Authorization of the property owner where the Sign is to be placed has not been obtained.

(4) Inspection. Any Sign that a permit is issued shall be inspected after its erection for conformity to the provisions of this Code.

(5) Fees. No permit shall be issued until applicable fees have been paid to the City. Fees may be subject to change without prior notification. The Sign permit fee schedule shall be in accordance with the fee schedule enacted by the City Council and located at City Hall.

(6) Before any permit may be issued for a new Sign under this chapter, the Responsible Party shall modify or remove any of its own nonconforming Signs and Sign structures displayed or erected on the same property that the permit is being sought, so that all the Signs and Sign structures they are responsible for on the property conform to the provisions of this chapter. This provision does not apply to real estate Signs, banners, temporary Signs, or Sidewalk Signs. This provision does not apply to nonconforming Signs with a Variance.

ARTICLE 8.2 MASTER SIGN PLANS

(a) A Master Sign Plan is a comprehensive document containing specific regulations for an entire Project's Signs. Master Sign Plans are appropriate for Planned Development Districts, Master Planned Developments, development agreements or in the case where a Project applicant is seeking several variances to the Signs Chapter of the B³ Code. Master Sign Plans may be submitted with Zoning Concept Schemes or Neighborhood Regulating Plans.

(1) Master Sign Plans for areas with a multi-unit complex are highly encouraged to meet the unique needs of each multi-unit complex.

(2) All owners, tenants, subtenants and purchasers of individual units within the Development shall comply with the approved Master Sign Plan.

SEC. 8.2.001 APPROVAL OF MASTER SIGN PLANS

(a) A Responsible Party that seeks approval of a Master Sign Plan must file a request for a Master Sign Plan with the Sign Administrator along with a Sign permit fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.

(b) Once the necessary documentation has been provided to the Sign Administrator, the Sign Administrator may administratively deny or approve the Master Sign Plan, with or without conditions.

(c) The Sign Administrator may determine to present the Master Sign Plan to the City Council for approval or denial in lieu of Administrative Approval.

(d) If the Responsible Party disagrees with a decision of the Sign Administrator to deny a Master Sign Plan, or disagrees with the conditions placed on a Master Sign Plan by the Sign Administrator, the Responsible Party may submit a written request that the City Council review the Master Sign Plan request, the supporting documents, and the Sign Administrator's decision. The City Council can affirm, reverse, or modify the decision of the Sign Administrator.

(e) The City Council has final authority to approve a Master Sign Plan or conditions on a Master Sign Plan.

(f) A Master Sign Plan ordinance can modify Variance procedures for its specific property.

SEC. 8.2.002 PROCEDURE FOR VARIANCES TO MASTER SIGN PLANS

(a) A Responsible Party that wants a Variance from a Master Sign Plan adopted under this chapter must file a request for Variance with the Sign Administrator along with a Variance fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.

(b) Once the necessary documentation has been provided to the Sign Administrator, the Sign Administrator may administratively deny or approve a Variance, with or without conditions, from an adopted Master Sign Plan if the change is related to:

- (1) Change the location of the Sign within the area designated by the Master Sign Plan;
- (2) Change the location of the Sign within the right-of-way or into the right-of-way so long as a license agreement is presented and approved by the Sign Administrator;
- (3) Change illumination of the Sign so long as the illumination complies with Section 6.5.004 - Outdoor Lighting;

(4) Change of Sign Face so long as the size of the Sign Face is not increased;

(5) Change in number of panels or size of panels on a Monument Sign so long as total size of Sign Face is not increased; or

(6) Change in letter size or line number so long as total size of Sign Face is not increased.

(c) Administrative Approval is not allowed and Variance procedures in Section 8.2.003 - Variances - shall be followed if:

- (1) Additional Signs are requested;
- (2) Increase in the size of the Sign is requested;
- (3) Change in Sign type is requested;
- (4) Increase in the Height of the Sign is requested; or
- (5) The Sign Administrator determines the Variance request shall be reviewed in the regular Variance process.

- (d) If the Responsible Party disagrees with a decision of the Sign Administrator to deny a Variance request, or disagrees with the conditions placed on a grant of a Variance by the Sign Administrator, the Responsible Party may submit a written request that the ZBA review the Variance request, the supporting documents, and the Sign Administrator's decision. The ZBA can affirm, reverse, or modify the decision of the Sign Administrator.
- (e) The ZBA has final authority to approve a Variance or conditions on a Variance.
- (f) A Master Sign Plan ordinance can modify Variance procedures for its specific property.

SEC. 8.2.003 VARIANCES

- (a) A Responsible Party that wants a Variance from the Sign Chapter of the B³ Code must file a request for Variance with the Sign Administrator along with a Variance application fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.
- (b) Once the complete and necessary documentation has been provided to the Sign Administrator, the Sign Administrator shall review the request and make a

determination based on the documentation provided by the Responsible Party.

- (c) The Sign Administrator may, in specific cases and subject to appropriate conditions, and only after a finding based on the evidence presented that strict compliance with the requirements of this Chapter will result in substantial undue hardship, sufficient mitigation, or inequity to the applicant without sufficient corresponding benefit to the City and its citizens in accomplishing the objectives of this Chapter:
 - (1) Permit a Variance for a noncommercial or Commercial Sign of the Setback, effective area, size of internal components of a Sign so long as total size of Sign Face is compliant, or Height requirements of this Chapter;
 - (2) Authorize one additional Sign on Premises more than the number permitted by this Chapter; or
 - (3) Approve an increase in Height up to four (4) feet.
- (d) Other requests for variances shall be forwarded to the ZBA. The ZBA may decide, subject to appropriate conditions, and only after a finding based on the evidence presented that strict compliance with the

requirements of this Code will result in substantial undue hardship, sufficient mitigation, or inequity to the applicant without sufficient corresponding benefit to the City and its citizens in accomplishing the objectives of this Chapter.

The Sign Administrator and ZBA shall consider:

- (1) Special or unique hardship because of the size or shape of the property on which the Sign is to be located, or the visibility of the property from public roads.
- (2) Hardship claim based on the exceptional topographic conditions or physical features uniquely affecting the property on which a Sign is to be located.
- (3) Proposed Sign location, configuration, design, materials and colors are harmonious.
- (4) The Sign and its supporting structure is in architectural harmony with the surrounding Structures.
- (5) Mitigation measures related to the Sign in question or other Signs on the same Premises.

- (6) Demonstrated and documented correlation between the Variance and protecting the public health and safety.
 - (7) Whether the Sign could have been included in a Master Sign Plan. Master Sign plans are highly encouraged. The City will be more inclined to favorably consider a Variance request when the Variance is part of a Master Sign Plan. There will be a presumption against granting variances piecemeal, ad hoc, on a case-by-case basis when the Sign for which a Variance is sought could have been included in a Master Sign Plan and considered in the course of a comprehensive review of the entire Project's signage.
 - (8) The Sign Administrator may authorize the remodeling, renovation, or alteration of a Sign when some nonconforming aspect of the Sign is thereby reduced.
- (f) Where a permit was required for a Sign's erection according to the law in effect at the time the Sign was erected and where the Sign Administrator finds no record of a permit being issued, the Sign Administrator may authorize the issuance of a replacement permit when, from the evidence presented, the Sign Administrator finds either that a permit was issued or that arrangements were made with a sign company to obtain such permit.

(g) If a Variance applicant wishes to appeal the decision of the Sign Administrator, the applicant shall file for an appeal with the ZBA within 10 days of receipt of the Sign Administrator's decision. The ZBA shall consider the appeal at its next regular meeting or as soon as practicable. The ZBA shall either:


- (1) Approve, reject, or approve upon condition the Variance Application, if any, at its meeting;
- (2) Postpone its decision on the request of the applicant; or,
- (3) Postpone its decision to its next regular meeting for good cause based on need for further review by the board of adjustment. Upon approval by the board of adjustment, the Sign permit and variances, if any, the permit shall be issued by the city administrator or the administrator's designee.

SEC. 8.2.004 CONDITIONS

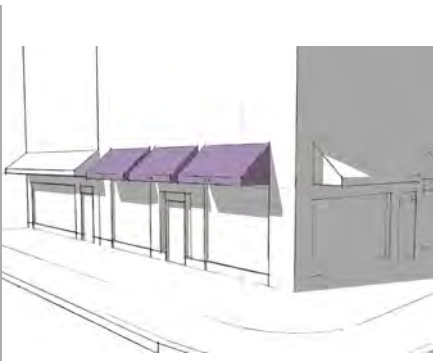
(a) The Sign Administrator or ZBA may impose conditions upon the granting of a Variance under this chapter. Such conditions must be related to the Variance sought and be generally intended to mitigate the adverse effects of the Sign on neighboring tracts and the general aesthetic ambiance of the community. A non-exhaustive list of

examples of conditions include increased setbacks, added vegetation, muted colors, and decreased Lighting. The ZBA may condition Sign variances on the Responsible Party bringing other existing, nonconforming Signs into compliance with current regulations. A Responsible Party's failure to comply with conditions placed on a Variance may result in the ZBA voiding the Variance and authorizing all available code enforcement actions and other remedies available in equity or at law.


ARTICLE 8.3 ON-PREMISE SIGN TYPES & STANDARDS

a)	PLACE TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
ADDRESS SIGN		P	P	P	P	<ul style="list-style-type: none"> a. Quantity: 1 per Address max. b. Area: 2 sf max. c. Width: 24 in max. d. Height: 12 in max. e. Depth / Projection: 3 in max. f. Clearance: 4.5 ft min. g. Letter Height: 6" max.
DESCRIPTION	<p>Address Signs shall be made easily visible through the use of colors or materials that contrast with their background and shall be attached to the Facade or Principal Entrance of the unit they identify.</p>					
SIGN DETAILS	<ul style="list-style-type: none"> i. Address Sign numerals applied to a House-form Residential, Commercial, or office buildings shall be between 4 and 6 inches tall. Address Sign numerals applied to individual Dwelling units in apartment buildings shall be at least 2 inches tall. ii. Address Signs shall be easily visible by using colors or materials that contrast with their background. iii. Address Signs shall be constructed of durable materials. iv. The address Sign shall be attached to the front of the Building in proximity to the Principal Entrance or at a mailbox. 					

b)

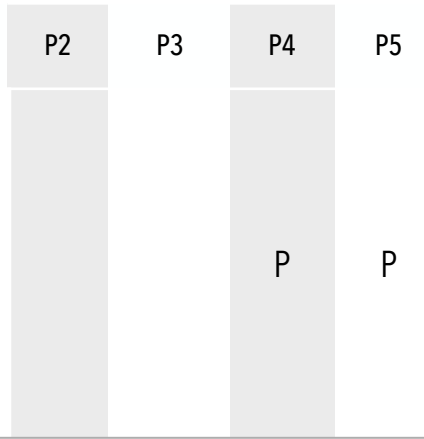
	PLACE TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
AWNINGS & SIGNS				P	P	<ul style="list-style-type: none"> a. Quantity: 1 per window max. b. Area: n/a c. Width: width of face max. d. Height: n/a e. Depth / Projection: 4 ft min. f. Clearance: 8 ft min. g. Letter Height: 5 in min., 10 in max. h. Valance Height: 12 in max. i. Distance from Curb: 2 ft min.
DESCRIPTION	<p>Awning Signage shall be limited to no more than 70% of the the Valance of the awning or the vertical portion of a dome awning. The Height of the Valance shall not exceed 12 inches. Awning Signs shall contain only the Business name, Logo, and/or Street address.</p>					
SIGN DETAILS	<ul style="list-style-type: none"> i. The following variations of awnings, with or without Sign Bands, are permitted: (1) Fixed or retractable awnings; (2) Shed awnings; (3) Dome awnings ii. Other awning types may be permitted by Warrant. iii. Signage shall be limited to the Valance of the awning or the vertical portion of a dome awning. iv. No portion of an awning shall be lower than 8 feet Clearance. v. Awnings shall be a minimum of 4 feet in depth. vi. Awnings shall not extend beyond the width of the Building or tenant space, nor encroach above the roof line or the Story above. vii. The Height of the Valance shall not exceed 12 inches. viii. Awning Signs shall contain only the Business name, Logo, and/or Street address. ix. Letters, numbers, and graphics shall cover no more than 70% of the Valance area. x. Awning Signs shall not be internally illuminated or backlit. 					

c)

	PLACEMENT TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
BAND SIGNS				P	P	<ul style="list-style-type: none"> a. Quantity: 1 max. (2 for corner buildings) b. Area: 1.5 sf per linear ft Facade c. Width: 90% max. width of Facade d. Height: 3 ft max. e. Depth / Projection: 7 in max. f. Clearance: 7 ft min. g. Apex: n/a h. Letter Height: 18 in max.
DESCRIPTION	1 Band Sign limited to 90% of the width of the Building Facade shall be permitted for each Building with a Commercial Use. Information shall consist only of the name and/or Logo of the Business.					
SIGN DETAILS	<ul style="list-style-type: none"> i. All businesses are permitted 1 Band Sign on each first Story Facade. ii. Band Signs shall include only letters, background, Lighting, and an optional Logo. Information shall consist only of the name and/or Logo of the Business. Band Signs shall not list products, sales, or other promotional messages, or contact information. iii. The following Band Sign Construction types are permitted: Cut-out Letters. Letters shall be individually attached to the wall or on a separate background panel, and shall be externally illuminated. <ul style="list-style-type: none"> (1) Flat Panel. Letters shall be printed or etched on same surface as the background, that is then affixed to the wall and externally illuminated. (2) Channel Letters by Warrant. Each letter shall have its own internal Lighting element, individually attached to the wall or onto a separate background panel. The letter shall be translucent, or solid to create a backlit halo effect. 					

d)

PLACE TYPES ►



SPECIFICATIONS ▼

BLADE SIGNS

- a. **Quantity:** 1 per Facade max. 2 max.
- b. **Area:** 4 sf max. In P2, P3 & 6 sf max. in P4, P5
- c. **Width:** 4 ft max.
- d. **Height:** 4 ft max.
- e. **Depth / Projection:** 4 ft max.
- f. **Clearance:** 8 ft min.
- g. **Apex:** n/a
- h. **Letter Height:** 8 in max.


DESCRIPTION

Blade Signs shall be permitted only for businesses that have a Principal Entrance on the first Story. One Blade Sign shall be permitted for each Business if the Facade is no more than 5 feet from the Principal Frontage Line. Blade Signs may encroach into the Public Frontage up to 4 feet, shall clear the Sidewalk by at least 8 feet, and shall not encroach above the bottom of any second Story windows. Blade Signs shall be limited to the name and/or Logo of the Business.


SIGN DETAILS

- i. Blade Signs may be double-sided.
- ii. Blade Signs shall be permitted only for businesses that have a Principal Entrance on the first Story.
- iii. Businesses shall be permitted 1 Blade Sign where its Principal Frontage Line is no more than 5 feet from the Facade. Businesses that have a Secondary Frontage line that is no more than 2 feet from the Facade shall be permitted 1 additional blade Sign on that Facade.
- iv. Blade Signs may encroach into the Public Frontage up to 4 feet and shall clear the Sidewalk by at least 8 feet.
- v. Blade Signs shall not encroach above the roof line nor above the bottom of the second Story window.
- vi. Text and graphics on the Blade Sign shall be limited to the name and/or Logo of the Business. Slogans, address labels, operating hours and contact information shall not be permitted.
- vii. Mounting hardware, such as supports and brackets, may be simple and unobtrusive or highly decorative, but shall complement the design of the Sign, the Building, or both.
- viii. For buildings with multiple Signs, mounting hardware or Sign shapes, sizes and colors shall be Coordinated.

e)

	PLACE TYPES ►	P2	P3	P4	P5	SPECIFICATIONS ▼
MARQUEE SIGNS					P	<ul style="list-style-type: none"> a. Quantity: 1 per Business max. b. Area: n/a c. Width: entrance plus 2 ft each side d. Height: 50% Story Height max. e. Depth / Projection: 4 ft min.; 10 ft max. f. Clearance: 10 ft min g. Apex: n/a h. Letter Height: n/a i. Distance from Curb: 3 ft min.
DESCRIPTION	Marquees shall be located only above the Principal Entrance of a Building, shall provide a minimum clearance of 10 feet, and may Encroach the Public Frontage to within 2 feet of the Curb. Message Boards shall be permitted as part of Marquees.					
SIGN DETAILS	<ul style="list-style-type: none"> i. Marquees shall be located only above the Principal Entrance of a Building. ii. No Marquee shall be wider than the entrance it serves, plus 2 feet on each side thereof. iii. No portion of a Marquee shall be lower than 10 feet Clearance. iv. No Marquee shall extend closer to the Curb than 3 feet. v. Columns or posts may be used as supports for Marquees 8 feet deep or deeper if approved by the DRC. vi. All Marquees, including anchors, bolts, supporting rods, and braces, shall be constructed of non-combustible materials and shall be designed by a structural engineer submitted for approval to the Building Official. vii. Marquee components and materials may vary. Anchors, bolts, and supporting rods should be limited to the interior of the Marquee. viii. Message Boards shall be permitted as part of Marquees. ix. A Band Sign shall be permitted above a Marquee. 					

f)

	PLACE TYPES ►	P2	P3	P4	P5	SPECIFICATIONS ▼
NAMEPLATE SIGNS				P	P	<ul style="list-style-type: none"> a. Quantity: 1 max. b. Area: 3 sf max. c. Width: 18 in max. d. Height: 2 ft max. e. Depth / Projection: 3 in max. f. Clearance: 4 ft min. g. Apex: 7 ft max. h. Letter Height: n/a
DESCRIPTION	1 Nameplate per address limited to 3 square feet may be attached to a Building wall within 10 feet of a Principal Entrance.					
SIGN DETAILS	<ul style="list-style-type: none"> i. Nameplates shall consist of either a panel or individual letters applied to a Building wall within 10 feet of an entrance to the Building. ii. One Nameplate shall be permitted per address. iii. Nameplates shall not exceed 3 square feet. iv. Nameplates shall be constructed of durable materials. 					

g)

PLACETYPES ►

P2

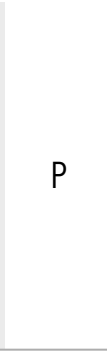
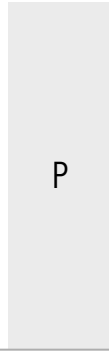
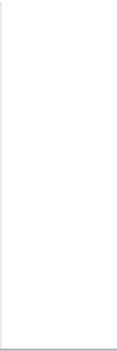
P3

P4

P5

SPECIFICATIONS ▼

OUTDOOR
DISPLAY CASE



- a. **Quantity:** 1 max.
- b. **Area:** 6 sf max.
- c. **Width:** 3.5 ft max.
- d. **Height:** 3.5 ft max.
- e. **Depth / Projection:** 5 in max.
- f. **Clearance:** 4 ft min.
- g. **Apex:** n/a
- h. **Letter Height:** n/a


DESCRIPTION


Outdoor Display Cases shall not exceed 6 square feet and may be internally illuminated.

SIGN DETAILS

- i. Each Outdoor Display Case shall not exceed 6 square feet.
- ii. Outdoor display cases may be externally or internally illuminated.
- iii. Theaters may be permitted larger outdoor display cases by Warrant.
- iv. Outdoor display cases shall not be attached to Shopfront windows.

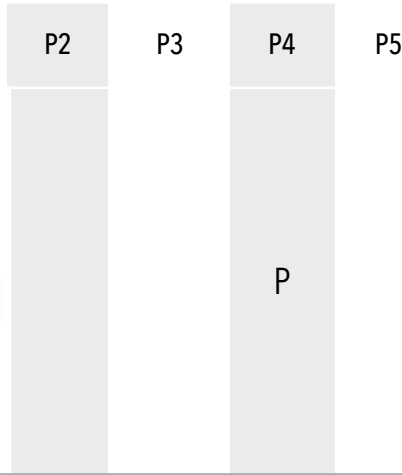
h)

	PLACEMENT TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
SIDEWALK SIGN				P	P	<ul style="list-style-type: none"> a. Quantity: 1 Building max. b. Area: 3 sf max. c. Width: 24 in max. d. Height: 2 ft max. e. Depth / Projection: 3 in max. f. Clearance: 4 ft min. g. Apex: 7 ft max. h. Letter Height: n/a
DESCRIPTION	1 Freestanding, double-sided, temporary Sidewalk Sign may be placed within the Parking Strip of the Public Frontage for each Business. Sidewalk Signs shall be removed at the close of Business each day.					
SIGN DETAILS	<ul style="list-style-type: none"> i. Sidewalk Signs shall consist of Freestanding, double-sided temporary Signs placed at the entrance to a Business in a primarily Pedestrian environment. ii. Sidewalk Signs shall be removed at the close of Business each day. iii. 1 Sidewalk Sign shall be permitted for each Business. iv. Sidewalk Signs shall not exceed 42 inches in Height or 26 inches in width. v. Sidewalk Signs shall be moved inside during high winds or other weather conditions that might pose a hazard to public safety. 					

i)	PLACE TYPES ►	P2	P3	P4	P5	SPECIFICATIONS ▼
WINDOW SIGN				P	P	<ul style="list-style-type: none"> a. Quantity: 1 per window max. b. Area: 25% coverage per window c. Width: n/a d. Height: n/a e. Depth / Projection: n/a f. Clearance: 4 FT min. g. Apex: n/a h. Letter Height: 8 in max.
DESCRIPTION	<p>Window Signs shall not interfere with the primary function of windows, that is to enable passersby and public safety personnel to see through windows into Premises and view product displays.</p>					
SIGN DETAILS	<ul style="list-style-type: none"> i. Only the following Window Sign types shall be permitted: ii. Vinyl applique letters applied to the window. Appliques shall consist of individual letters or graphics with no visible background. <ul style="list-style-type: none"> (a) Letters painted directly on the window. (b) Hanging Signs that hang from the ceiling behind the window. (c) Neon Signs. (d) Door Signs applied to or hanging inside the glass portion of an entrance doorway. iii. Window Signs shall not interfere with the primary function of windows, that is to enable passersby and public safety personnel to see through windows into Premises and view product displays. iv. Window Signs shall be no larger than 25% of the total area of the window onto which they are applied. Sign area shall be measured using smallest rectangle that fully encompasses the entire extent of letters, Logo and background. v. Window Signs may list services and/or products sold on the Premises, or provide phone numbers, operating hours or other messages, provided that the total aggregate area of these messages not exceed the limit provided above. vi. Letters on window Signs shall be no taller than 8 inches. 					

K)

PLACETYPES ►



SPECIFICATIONS ▼

YARD SIGN

- a. **Quantity:** 1 max per Lot
- b. **Area:** 6 sf max.
- c. **Width:** 3 ft max. (not counting post)
- d. **Height:** 2 ft max. (not counting post)
- e. **Depth / Projection:** n/a
- f. **Clearance:** min. 3 ft to Sign edge
- g. **Apex:** max. 6 ft to top of post
- h. **Letter Height:** 8 in max.

DESCRIPTION

1 single- or double-post Yard Sign may be placed with the Private Frontage.

SIGN DETAILS

- i. One single- or double-post Yard Sign for each Business may be permitted by Warrant, provided it is set back at least 6 feet from the Frontage Line, does not exceed 6 square feet excluding posts, and does not exceed 6 feet high including posts, measured from the yard at the post location.

K)

PLACE TYPES ►

P2

P3

P4

P5

SPECIFICATIONS ▼

MONUMENT &
POLE SIGN



P

- a. **Quantity:** 1 max per Frontage
- b. **Height:** 35 ft max. in P5 on HWY 71 Frontage
20 ft max in P5 on HWY 95 & HWY 150
4 ft max in P4
- c. **Max Height to width ratio:** 4:1

DESCRIPTION

A Sign permanently affixed to the ground at its base or by poles that are enclosed by natural stone, stucco, brick, or wood and not mounted to a part of a Building. Pole(s) may be used to construct a Monument Sign so long as the poles are not visible below the Sign

SIGN DETAILS

- i. A Monument Sign can be defined as a ground Sign generally having a low profile with little or no Open Space between the ground and the Sign and having a Structure constructed of masonry, wood, or materials similar in appearance.
- ii. How to Measure:
 - (1) Maximum total Height is measured from the finished grade at the center of the Sign. If the finished grade at the center of the Sign is higher than the finished grade of the closest paved surface, then the Height shall be measured from the finished grade of the closest paved surface.
 - (2) The monument base shall be a maximum of 2 feet in Height and shall be included in the calculation of total Height.
 - (3) A Monument Sign width cannot exceed 2 times the allowable Sign Height.
- iii. The max Height allowed along Hwy. 71 is 35 feet.
- iv. The max Height allowed along Hwy. 150 and Hwy. 95 is 20 feet.
- v. Pole Signs are permitted along the Hwy 71 Frontage through the City Limits and the ETJ. Max Height 35 feet

ARTICLE 8.4 TEMPORARY SIGNS

SEC. 8.4.001 STANDARDS FOR TEMPORARY SIGNS

Temporary signs are allowed for a limited time period in accordance with the permitting requirements.

(a) Banner signs

- (1) Maximum sign area is forty-eight (48) square feet and not to exceed 75% of the building or lease space width upon which the sign is to be located.
- (2) Maximum banner height dimension is four (4) feet.
- (3) One banner sign may be placed on a building for up to two (2) weeks four (4) times per calendar year. The periods may be combined. Each tenant space or building located on a single lot or in a complex shall be allowed an individual banner as allowed per this article.
- (4) All four (4) corners of a banner sign shall be securely attached to the building.
- (5) Street banners announcing permitted community events may be placed over the public right-of-way in the CBD on Chestnut Street and Main Street as

permitted by law. A maximum of one banner per block shall be permitted, and no more than two (2) banners per event shall be allowed.

(b) Bandit Signs

- (1) Bandit signs shall not exceed four (4) square feet and shall not be more than three (3) feet above the natural grade.
- (2) Bandit signs shall be authorized for new residential subdivisions during the development and sale phases only.
- (3) Bandit signs shall not be placed on the public right-of-way, or within the visibility triangle of an intersection.
- (4) The posting of bandit signs shall only be allowed between the hours of 5:00 a.m. Saturday through 6:00 a.m. Monday.
- (5) The bandit signs shall be set back from the property line a minimum of five (5) feet and shall not exceed three (3) feet in height above the natural grade.
- (6) Any bandit sign placed prior to 5:00 a.m. on Saturday or not removed by 6:00 a.m. Monday shall be in violation of this article. The city shall remove bandit

signs in violation of this article within twenty-four (24) hours. The owner of the bandit sign shall be fined in accordance with this article.

(c) Construction Site Signs

(1) The maximum sign area for a construction site sign is as follows:

A. Freestanding: Thirty-two (32) square feet.

B. Wall signs: 10% of building or lease space facade on which it is attached.

(3) Only one freestanding sign per street frontage on the property where the activity is to occur is permitted.

(4) Only one wall sign per building is permitted.

(5) The construction site sign shall be displayed no earlier than thirty (30) days before the commencement of the activity and must be removed no later than thirty (30) days after the activity is completed, or the installation of a permanent sign, whichever occurs first.

(d) Development information signs

(1) The maximum sign area shall not exceed forty (40) square feet.

(2) One sign is allowed for every fifty (50) lots, not to exceed thirty-two (32) signs unless the project exceeds four (4) square miles.

(3) All signs must conform to a unified design, shape and neutral color scheme and be constructed of strong, durable weather-resistant materials.

(4) For a residential subdivision, the sign may be displayed once the plat is recorded and shall be removed when 90% of each phase to which the sign is a part of is completed.

(5) For a commercial development not requiring platting, the sign may be displayed with the approval of either the site plan or the building permit.

(6) Development information signs shall be located on private property within the project subdivision/development to which the signs pertain. Signs may not be located on boundary streets of the project subdivision.

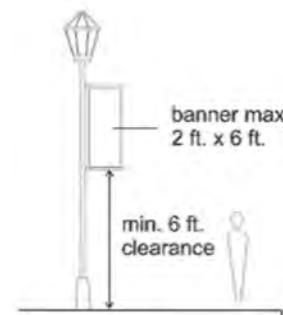
(e) Garage sale signs

- (1) Must be located on private property (i.e., not in the right-of-way or on a utility pole) at a distance not less than three (3) feet from a curb.
- (2) A maximum sign area of four (4) square feet.
- (3) Allowed from 5:00 p.m. Thursday until 8:00 a.m. Monday (unless Monday is a holiday, in which case the sign can remain until 8:00 a.m. Tuesday).

(f) Light pole-mounted banners

- (1) Limited to not more than one banner on any light pole.
- (2) Limited to no more than two (2) feet × six (6) feet in exterior dimension and twelve (12) square feet in area per banner.
- (3) A minimum height of six (6) feet as measured from adjacent grade to the bottom of the banner.
- (4) A maximum height of twelve (12) feet to the top of the banner.

- (5) Banners shall be maintained in good repair. Should they become excessively faded, tattered or torn, they shall be replaced or removed.
- (6) Banners shall not be illuminated, except for indirect lighting associated with the main lamp of the light pole to which it is mounted.
- (7) Banners shall be permitted in the CBD for the advertising of permitted community events, seasonal and historic themes, or other such civic purposes; on collector level and higher classification within a residential subdivision; within master planned commercial subdivision. Such banners are limited to subdivision identification, or seasonal decorations and works of art by local artists. Such banners must be approved by the appropriate electric utility company in addition to receiving a permit from the city's planning and development department.



(g) Model Home Signs

- (1) The maximum sign area is eighteen (18) square feet.
- (2) The maximum height is six (6) feet.
- (3) One sign per cluster of model homes per builder.
- (4) A nameplate sign that identifies the individual product name is exempt if it does not exceed three (3) square feet nor three (3) feet in height.
- (5) Must be placed in front of a cluster of one or more model homes per builder.
- (6) All model home signage must be removed from the premises upon sale of the last model in the cluster.